

Notice of Meeting & Tentative Agenda



City of Jefferson Planning and Zoning Commission

Thursday, October 13, 2016 ~ 5:15 P.M.

City Council Chambers, John G. Christy Municipal Building, 320 East McCarty Street

Enter through Main Lobby

All interested parties will be given a chance to be heard.

TENTATIVE AGENDA

1. **Call to Order and Introductions**

2. **Procedural Matters**

- Determination of quorum and designation of voting alternates
- Call for cases
- Receive and review requests for continuance
- Receive requests for reordering the agenda
- Format of hearing
- List of exhibits

3. **Adoption of Agenda (as printed or reordered)**

4. **Approval of the Regular Meeting Minutes of September 8, 2016**

5. **Communications Received**

6. **New Business/Public Hearings**

Case No. P16013 – 2005 Schotthill Woods Drive – Preliminary PUD Plan Amendment. Request filed by CAC Real Estate, property owner, Chris McCrea, applicant, for a Preliminary PUD Plan Amendment to demolish the existing restaurant on the property and construct a new 2,200 sf restaurant with drive through lane. The property is located on the northeast corner of Eastland Drive and Schotthill Woods Drive and is described as part of Lot 60 of Schotthill Woods Section 2, Jefferson City, Missouri (Weihe Engineers, Consultant).

Case No. P16014 – 815 West Stadium Boulevard, Rezoning from C-1 to C-2. Request filed by Providence Bank, property owner, for a rezoning of 2.85 acres from C-1 Neighborhood Commercial to C-2 General Commercial. The property is located on the east side of West Stadium Boulevard 250 feet south of Hyde Park Road and is described as part of lot 67 of Jordon Towne Subdivision, Jefferson City, Missouri.

Case No. P16015 – 2220 Weathered Rock Road – Preliminary PUD Plan. Request filed by Twenty Seven Properties LLC, property owner, for a Preliminary PUD Plan to construct two residential triplexes on 0.96 acres. The property is located on the west side of Weathered Rock Road 650 feet south of Millbrook Drive and is described as Part of Tract B of Millbrook Subdivision, Jefferson City, Missouri (Central Missouri Professional Services, Consultant).

7. **Other New Business**

Case No. P16016 – 2821 S. Ten Mile Drive – Final Subdivision Plat. Request filed by MERS Goodwill for a Final Subdivision Plat on property zoned C-1 Neighborhood Commercial consisting of 1.7 acres and one lot. The purpose of the request is to consolidate three separate property tracts into a single lot. The property is located on the South Side of South Ten Mile Drive 400 feet west of Stoneridge Parkway.

8. **Other Business**

9. **Adjourn**

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Please call (573) 634-6410 with questions regarding agenda items.

MINUTES

JEFFERSON CITY PLANNING AND ZONING COMMISSION

September 8, 2016

5:15 p.m.

COMMISSION MEMBERS PRESENT

Bunnie Trickey Cotten
Jack Deeken
Dean Dutoi
Chris Jordan, Chairman
Michael Lester
David Nunn
Chris Yarnell, Vice Chairman
Blake Markus, Alternate
Matthew Hall, Alternate

ATTENDANCE RECORD

1 of 1
1 of 1

COMMISSION MEMBERS ABSENT

Bob George
Dale Vaughan
Ron Fitzwater, Alternate

ATTENDANCE RECORD

0 of 1
0 of 1
0 of 1

COUNCIL LIAISON PRESENT

Carlos Graham

STAFF PRESENT

Eric Barron, Senior Planner
Anne Stratman, Administrative Assistant

1. Call to Order and Introduction of Members, Ex-officio Members and Staff

Mr. Jordan asked Mr. Hall, new alternate member, to introduce himself.

The Chairman and six regular members and two alternates were present. A quorum was present.

Designation of Voting Alternates

The Chairman announced that all regular members and alternates Mr. Marcus and Mr. Hall are eligible to vote.

2. Procedural Matters and Procedures Explained

Mr. Barron explained the procedures for the meeting. The following documents were entered as exhibits. Mr. Barron advised that copies of the exhibits are available through the City Clerk or the Department of Planning and Protective Services:

The City Code of the City of Jefferson, as amended
Comprehensive Plan and Land Use Map
Copies of applications under consideration
A list of property owners to whom notices were sent
Affidavit of publication of the public notice in the newspaper
Rules of Procedure, Planning & Zoning Commission

Mr. Barron submitted the following items for the record:

Staff reports
Minutes of proceedings
Copies of drawings, plans, and/or renderings under consideration
Letters or memoranda from staff
Materials submitted by the public or applicants pertaining to the cases under consideration

3. Adoption of Agenda

Mr. Lester moved and Mr. Dutoi seconded to adopt the agenda as printed. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

4. Approval of Minutes from the Regular Meeting of August 11, 2016

Ms. Cotten moved and Mr. Dutoi seconded to approve the minutes of the Regular Meeting of August 11, 2016 as written. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

Approval of Minutes from the Special Meeting of August 25, 2016

Ms. Cotten moved and Mr. Nunn seconded to approve the minutes of the Special Meeting of August 25, 2016. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

5. Communications Received

No correspondence was received.

6. New Business/Public Hearings

Case No. P16011 – Property in the 1100 Block of Oak Street, Rezoning from RS-4 to C-O and Comprehensive Plan Amendment. Request filed by Capital Region Medical Center, property owner, for a rezoning of 0.97 acres from RS-4 Single Family Residential to C-O Office Commercial and an associated amendment to the Development Plan Map of the Comprehensive Plan. The property is located on the west side of Oak Street south of Woodlawn Avenue and north of Union Street and is described as lots 18-25 of Woodcrest Addition, Jefferson City, Missouri (Central Missouri Professional Services, Consultant).

Mr. Barron described the proposal and explained that the subject property is owned by Capital Region Medical Center. He stated that the existing houses have been demolished in order to make way for a parking lot to serve the existing hospital and medical office buildings, as well as, future expansion. Mr. Barron explained that Capital Region Medical Center is proposing a rezoning of the property from its current single family designation to Commercial Office to match the existing zoning on Monroe Street. He stated that a request to amend the Development Plan Map of the Comprehensive Plan to show the property as an expansion of the Public and Semi Public intended land use for the hospital campus is attached to the rezoning request.

Mr. Martin Grabanski, Director of Facilities for Capital Region Medical Center, 1125 Madison Street, spoke regarding this request. Mr. Grabanski explained that Capital Region Medical Center will continue to expand and improve this area and the community they serve. He stated that Capital Region Medical Center was instrumental in the H3 Program which took a comprehensive look at improving the neighborhood around the hospital and downtown.

Mr. Lester inquired of the long term plans for this property. Mr. Grabanski explained that the current plan for the property is a parking lot. He stated that long term plans may include additional support services and/or medical office buildings.

Mr. Mike Bates, Central Missouri Professional Services, 2500 E. McCarty Street, spoke regarding this request. Mr. Bates distributed the following: (1) a visual depicting the study boundary area for the H3 District and Neighborhood Plan; and (2) a visual depicting the area to be rezoned. He explained that there are stringent requirements for parking lots that include landscaping, buffering, lighting and stormwater requirements.

Mr. Lester commented that he attended the neighborhood meetings and heard residents expressing their concerns about additional parking lots. In response, Mr. Bates commented that the new parking lots would be landscaped in conformance with current city code requirements.

No one spoke in opposition to this request and no correspondence was received.

Mr. Barron gave the Planning Division Staff Report.

Mr. Yarnell moved and Mr. Dutoi seconded to approve the comprehensive plan amendment request to show the property as Public and Semi Public on the Development Plan Map of the Comprehensive Plan. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

Mr. Yarnell moved and Mr. Dutoi seconded to recommend approval of the request to rezone the property from RS-4 to C-O. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

Case No. P16012 – 615 East Capitol Avenue, Rezoning from RA-2 to C-O. Request filed by J&S Properties of Jefferson City LLC, property owner, for a rezoning of 0.25 acres from RA-2 High Density Residential to C-O Office Commercial. The purpose of the request is to permit an office use in the existing building with apartment above. The property is located on the north side of East Capitol Avenue 250 feet west of Lafayette Street and is described as part of Inlots 135 and 136, Jefferson City, Missouri.

Mr. Barron described the proposal and explained that there is an existing building on the property that has been used as a two unit apartment building in the past, with one unit accessible from the main entrance and one unit located on the second floor and accessible from a stairway on the east side of the building. He stated that the property owner wishes to market the main level unit as a commercial office rather than an apartment. Mr. Barron explained that the current zoning of RA-2 Multi-Family Residential does not permit conversion of the structure into an office, so the property owner is requesting a rezoning to the C-O Office Commercial zoning district to permit the office and second floor residential use. He stated that City staff is in the process of finalizing documents that would implement the Central Eastside Neighborhood Plan. Mr. Barron explained that the Capitol Avenue area that includes this property is identified as being ideal for mixed office and residential use. He stated that the timeline for the rezoning and overlay district implementation has not been finalized. Mr. Barron explained that the rezoning request is compatible with the office and residential mixed use called for within the Central Eastside Neighborhood Plan and would be compatible with the existing land use pattern for Capitol Avenue. He stated that while city staff intends to rezone the area, including this property, to a mixed use district in the near future, an immediate rezoning of the property to commercial office would allow the property owner to market the building as office space immediately.

Mr. John Pervinich, 1413 Inglenook Drive, did not have additional comments to add. He thanked the Commission for their consideration.

No one spoke in opposition to this request and no correspondence was received.

Ms. Cotten moved and Mr. Lester seconded to recommend approval of the request to rezone the property from RA-2 to C-O to the City Council. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

7. Other Business

A. Adopt 2017 Meeting Schedule

Mr. Yarnell moved and Mr. Dutoi seconded to adopt the 2017 meeting scheduled as proposed. The motion passed 8-0 with the following votes:

Aye: Cotten, Deeken, Dutoi, Hall, Lester, Markus, Nunn, Yarnell

8. Adjourn. There being no further business, the meeting adjourned at 5:55 p.m.

Respectfully Submitted,

Eric Barron, Assistant Secretary

Jefferson City
Planning & Zoning Commission

October 13, 2016

**Case No. P16013
CAC Real Estate
2005 Schotthill Woods Drive**

Preliminary PUD Plan Amendment

Landscaping: Parking lot landscaping consisting of 10 trees is shown on the PUD Plan. In addition to the landscaping to be installed during the redevelopment of the site, the neighboring property to the north (Jefferson Bank) has a row of ten trees along the property line that partially shades the subject parking lot.

Drive Through Lane: The drive through lane shown on the PUD Plan is located 14.8 feet from the eastern property line, which is less than the standard 20 feet setback for drive through lanes. The drive through lane is shown with an 11 feet width, higher than the minimum 8 feet width code requirement. Staff recommend that the drive through lane be shifted to adhere to the required 20 feet setback from the neighboring property.

Staff Recommendation

Staff recommend approval of the Preliminary PUD Plan Amendment. The proposed use of the property is similar to the existing restaurant with drive through lane, and is an appropriate land use considering the location of the property on Eastland Drive (classified as a minor arterial street) within a commercial subdivision. The new building is proposed to be constructed in the same location as the existing building.

Form of Motion

Motion for approval of the Preliminary PUD Plan Amendment with the following conditions:

1. An underlying zoning district of C-1 be established for the purpose of determining permitted uses with the addition of restaurant with drive through lane as a permitted use.
2. Signage shall adhere to the allowances of the C-1 zoning district with the exception that one pylon sign with a maximum height of 25 feet shall be permitted in the northwest corner of the site.
3. Adherence to the standard 20 feet setback for drive through lanes.
4. Compliance with comments and technical corrections of the Planning and Engineering divisions.

Jefferson City
Planning & Zoning Commission Meeting
Engineering Division Staff Report
Thursday, October 13, 2016, 5:15pm

Item 6. - New Business/Public Hearings

Case No. P16013 – Amended Preliminary Site Plan, Reconstruction/Rebuild of Restaurant, 2005 Schotthill Woods Drive (PUD)

ENGINEERING STAFF RECOMMENDATION- Engineering Staff supports approval of this request, *subject to preliminary plan being revised to address technical comments below.*

Existing Infrastructure

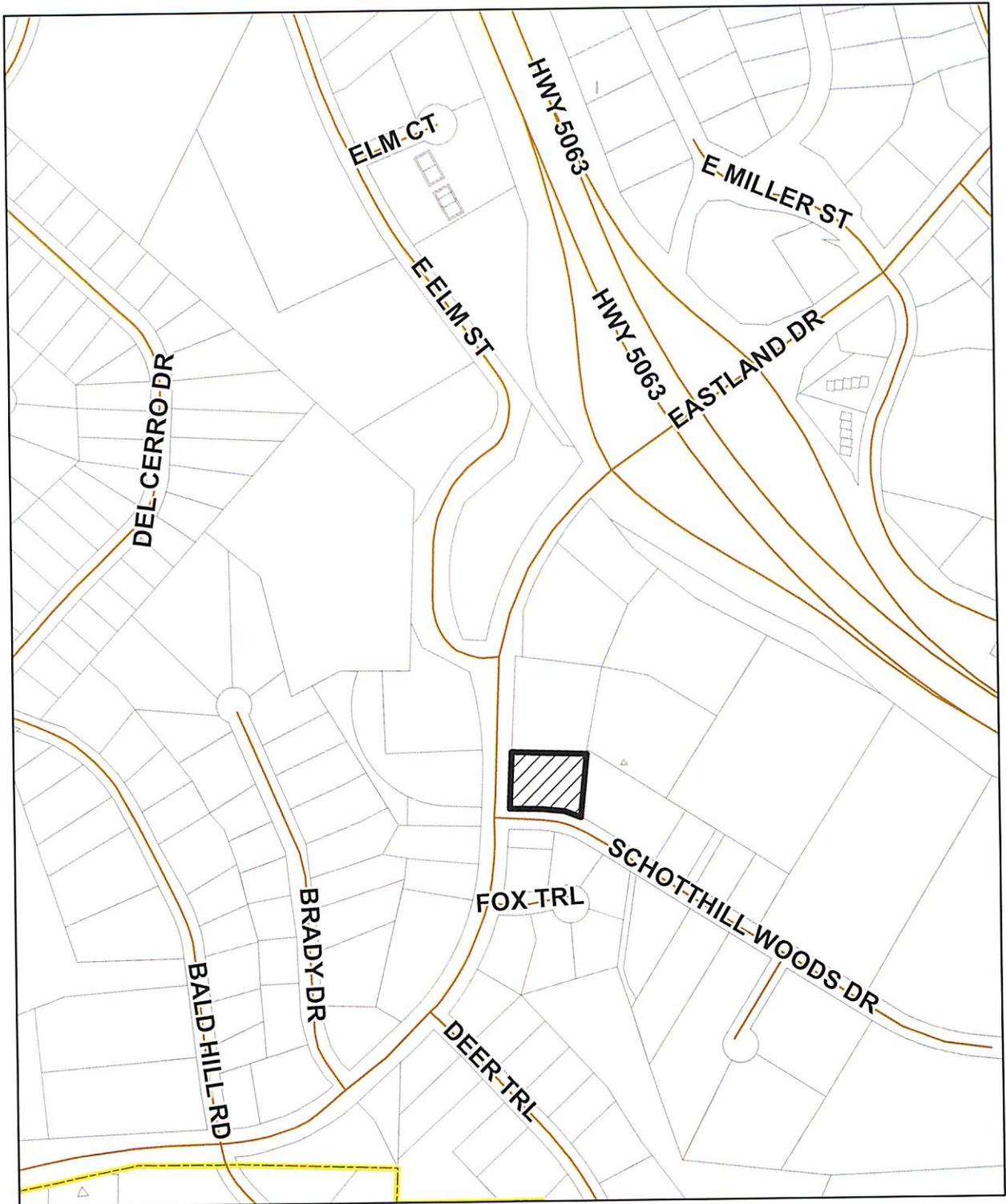
- Existing infrastructure serves this development.
 - An existing storm water drainage system traverses the property.
 - An eight (8) inch diameter sanitary sewer main serves the property.
 - Utilities exist to serve this property.
 - Some sidewalk does exist in the area.
 - Access to this site is from Schotthill Woods Drive.

Site Improvements

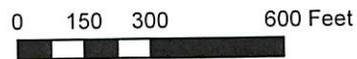
- **Storm Water Drainage/Quality**
Before and after impervious calculations will be needed to verify that there is no increase in impervious area from the site.
 - The pavement for the site is intended to be left in place, not disturbed.
 - Something may need to be done in regard to the proximity of the existing dumpster in relation to the existing storm water drainage inlet on the northeast corner of the site.
 - A covered dumpster enclosure or listed maintenance procedures may be needed to keep trash/debris from entering the storm drainage inlet. Please note this on the plans.*
 - Erosion and sediment control will be needed with the final plan.*
 - Show the existing storm water inlets in Eastland Drive along the west portion of the site.*
- **Sanitary Sewer**
The development is currently served by an eight (8) inch diameter sanitary sewer main that traverses the property.
- **Street Access/ Parking**
Access to the site will be as existing, from Schotthill Woods Drive.
 - Add a note to remove the existing parking striping shown along the eastern side of the site.*
- **Sidewalk**
Sidewalk is required and is shown for the project along both Eastland Drive and Schotthill Woods Drive.
- **Utilities**
Facilities exist in the vicinity and to serve this development.
- **Site Technical Comments-**
 - Change the reference to the C-1 zoning line along Schotthill Woods Drive to RS-2.*
 - Note the Schotthill Woods Drive r/w as 60'.*
 - The reference book and page of the property should be B-409 P-183.*
 - Note the location of the site on the Location Map.*
 - Check the drawing scale for accuracy, some dimensioning does not match the scale indicated.*

City of Jefferson Planning & Zoning Commission

VICINITY

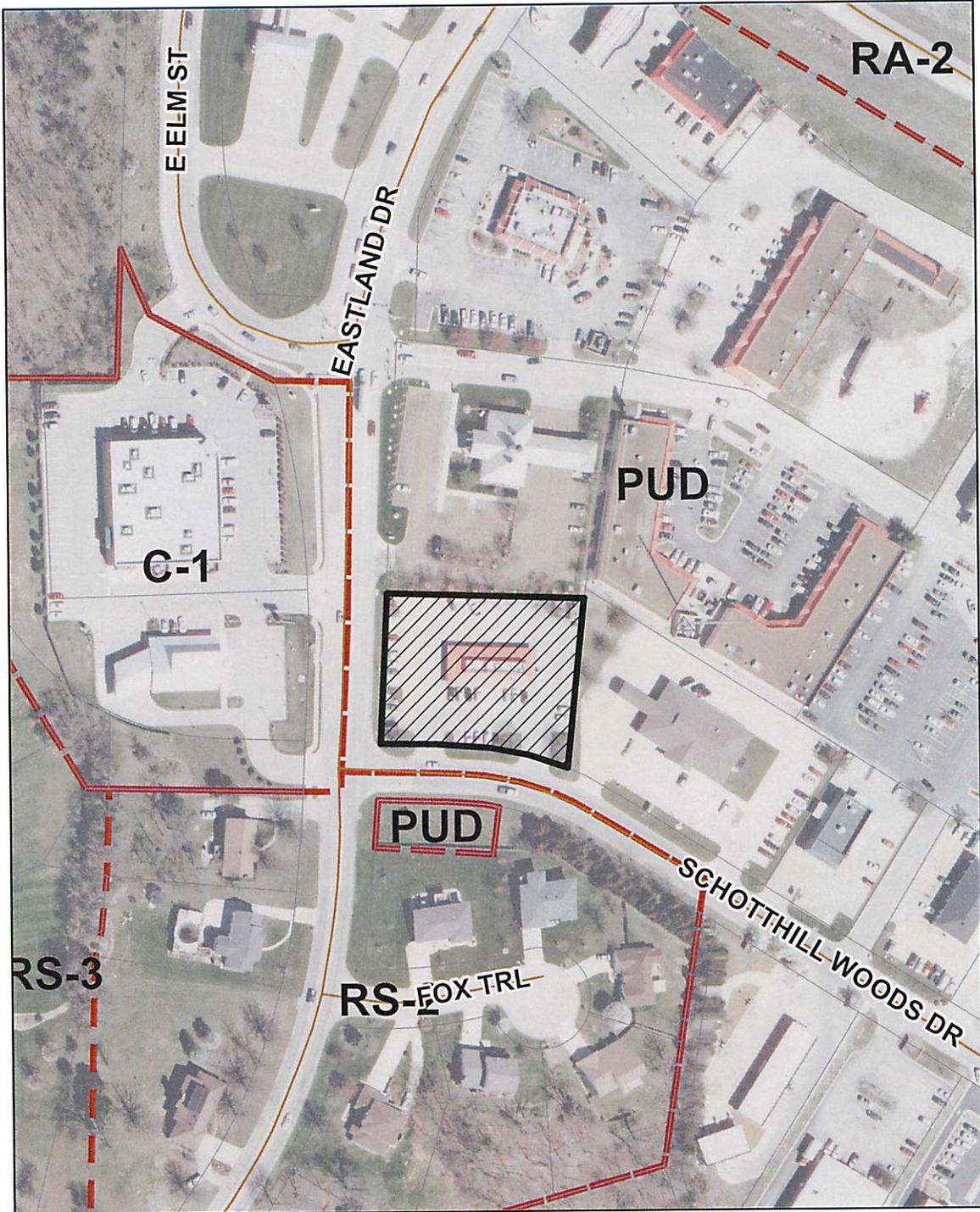


Case No. P16013
205 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant



City of Jefferson Planning & Zoning Commission

LOCATION MAP



Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant





City of Jefferson
Department of Planning & Protective Services
320 E. McCarty Street
Jefferson City, MO 65101
Phone: 573-634-6410
lcp@planning@jeffcitymo.org
www.jeffersoncitymo.gov

APPLICATION FOR PLANNED UNIT DEVELOPMENT (PUD)

- Concept PUD Plan
- Preliminary PUD Plan
- Final PUD Plan
- Amendment to Final PUD Plan
- Amendment to Final PUD Plan for Signage

PUD Project Name: Taco Bell
 Street Address: 2005 Scholthill Woods Dr.
 Legal Description (as follows or is attached): _____

Please attach or include the following:

- (a) Typed project narrative describing the type and character of the development, including land uses, acreage, proposed residential densities or commercial floor area (FAR); public or private open space, amenities or recreation areas to be provided; sidewalks and pedestrian ways; parking areas; deviations from minimum design standards of Section 35-51; and other information required by Section 35-74 or applicable sections of the Zoning Code. The project title and location must be included upon every page. Number all pages and attachments.
- (b) Site Plan and/or Development Plan, as applicable.
- (c) Preliminary or Final Subdivision Plat or Declaration of Condominium Association, as applicable;
- (d) Draft of Covenants, Conditions and Restrictions, as applicable;
- (e) Traffic Impact analysis, if required by Section 35-60;
- (f) Signage Plan, including type, locations and dimensions of all proposed signs;
- (g) Landscaping and Screening Plan;
- (h) Lighting Plan, including pole heights, type of fixtures or luminaries, and foot candles;
- (i) Project Phasing Plan (if applicable)
- (j) Application Filing Fee \$210.00 plus \$20 per acre (Revised June 30, 2015)

Application Information:

Property Owner: Chris McCrea / CAC REAL ESTATE L.L.P.
 Address 8102 N. Meridian Street, Indianapolis, Indiana 46260 5877 SW 29th TORONTO ON M2L 1R9
 Phone Number(s): 317-563-8446 785-273-1805

Applicant Name (if different from owner): _____
 Address _____
 Phone Number(s): _____

Consultant Name: Welthe Engineers
 Address: 10505 N. College Ave., Indianapolis, Indiana
 Phone Number(s): 317-848-6811

The attached information accurately represents this proposed project.

by C.A.C. REAL ESTATE, L.L.P.

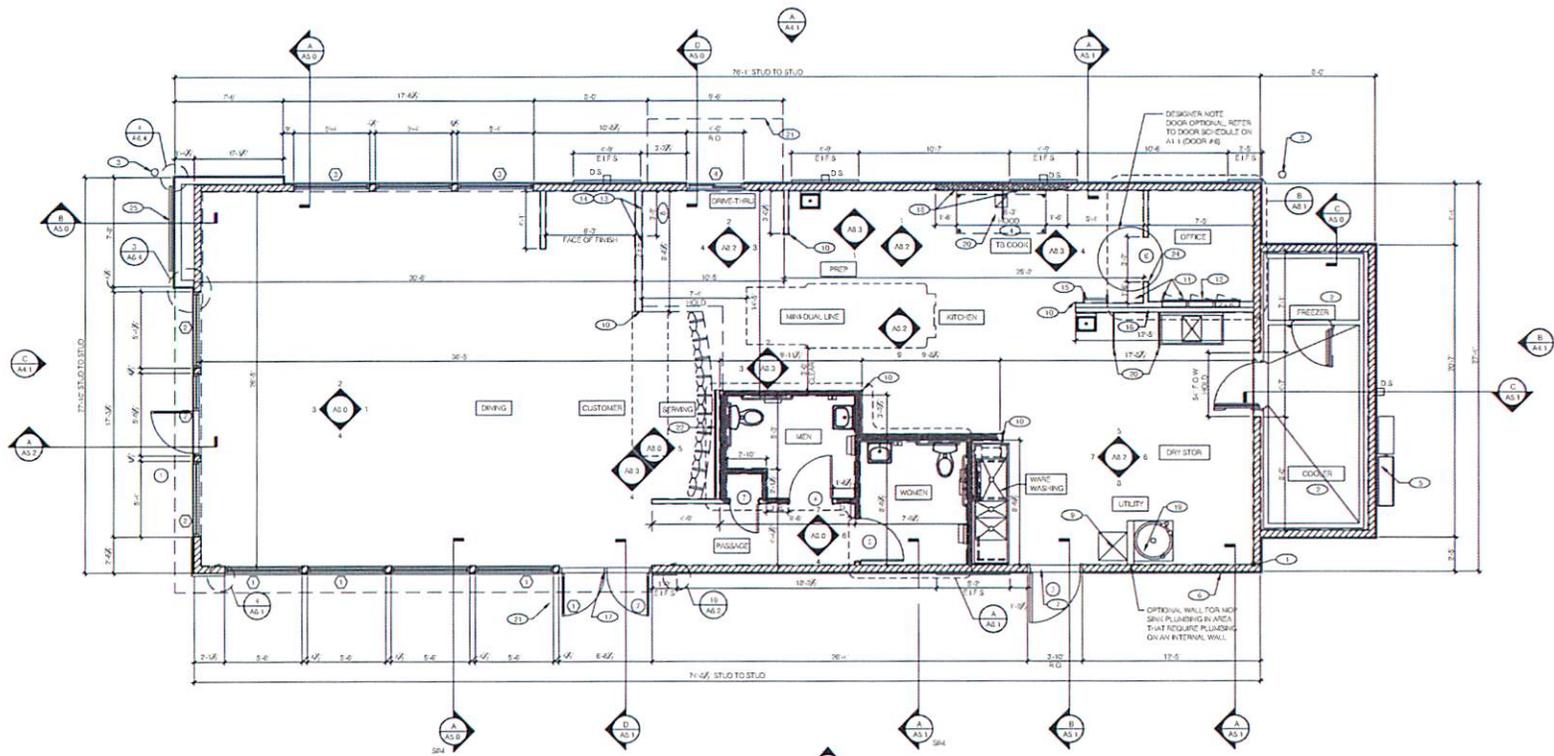
 Property Owner Signature

 Consultant Signature

DAVID A. CURNUTT 9/12/2016
 Printed Name Date
Bill Terry 9/12/2016
 Printed Name Date

For Staff Use Only:
 Application Filing Fee Received: _____ Amount _____ Check # _____
 Attachments: _____ Narrative _____ Site Plan _____ Applicant/Project Information Sheet
 Note other information submitted: _____

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.



FLOOR PLAN 1/4" = 1'-0" A

CONTRACT DATE	XXX-XX-XX
BUILDING TYPE	EXP. LITE MED-LO
PLAN VERSION	MAY 3, 2016
SITE NUMBER	XXX-XXX
STORE NUMBER	XXXXXX

TACO BELL
 3054 SCOTTHILL WOODS PKWY
 JEFFERSON CITY, MO 64501



FLOOR PLAN
A1.0A

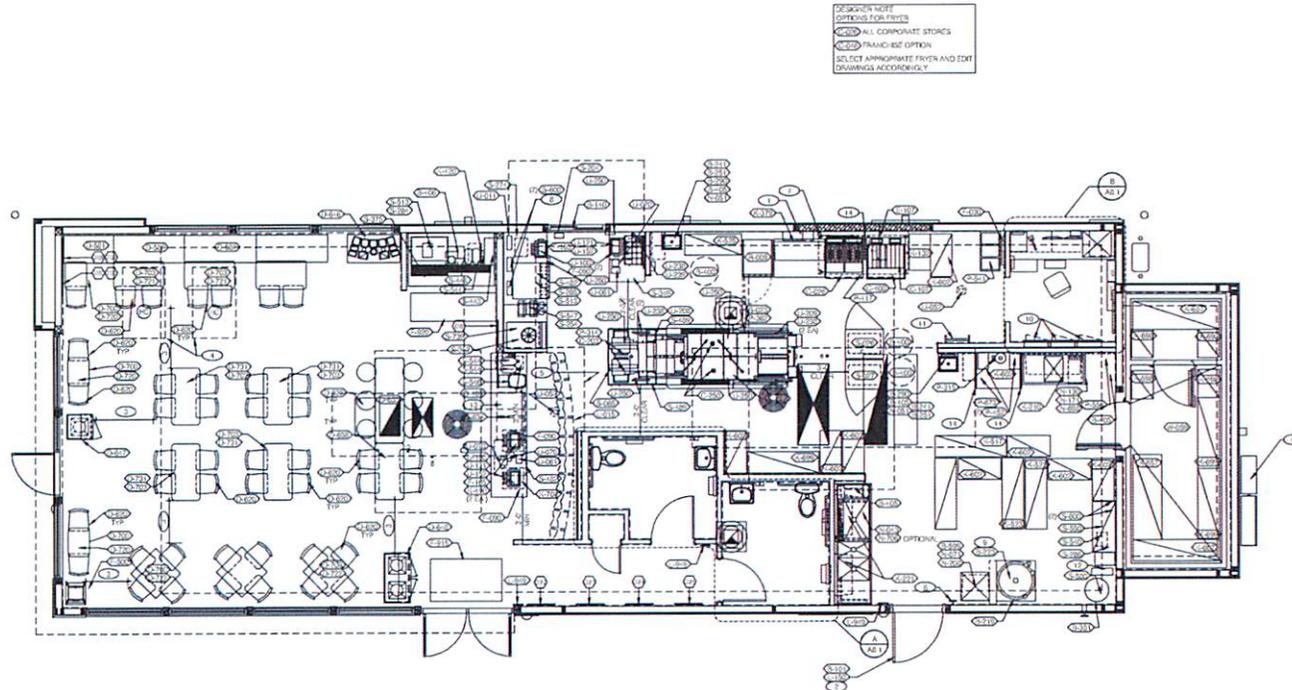
WALL LEGEND		E
	TYPICAL EXTERIOR WALL 2x4 WOOD STUDS AT 16" O.C. W/ 5/8" CAT-RING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KNAUF FACTO FIBERGLASS BATT INSULATION U.O.N. OC SHALL PROVIDE 2 LAYERS OF GRADE D 40 IS BUILDING PAPER.	
	TYPICAL EXTERIOR WALL 2x4 WOOD STUDS AT 16" O.C. (ENR OR 2x4 WHERE NOTED)	
	INTERIOR SOLID MASONRY WALL TYPICAL INTERIOR WALL W/ 3-1/4" UNFACED TECH-GLASS BATT INSULATION	
	WOOD JOIST EXTERIOR WALL WITH 2x4 S.S. PANEL, 2x4 WOOD HOOD. EXTEND MIN. 12" BEYOND END OF HOOD. REFER TO DETAIL 504.0 FOR EXTENT OF S.S. PANEL.	
	DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION	
WALL SUBSTITUTES		
CEILING		
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING H-ENT U.O.N. SEE 6.2 & 18/A8.3 (NOTE: THE GYPSUM BOARD SPECIFICATION IS DESIGNED TO ALLOW THE S.C. FLEXIBILITY.)		
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING H-ENT U.O.N. IF DOUBT SIDED SHEAR WALL FINISH IS SPECIFIED 5/8" PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE C-11 & 10/1A.3.		
CEILING FINISH		
1/2" GYPSUM WALLBOARD FROM FLOOR TO CONCRETE CURB TO 4" AT F. WITH 5/8" IMPACT BAND XP WALLBOARD. TYPE 3 CORN FROM TO CEILING BOARD TO 6" ABOVE CEILING H-ENT U.O.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 11 (S&B, 17/A8.3).		
1/2" GYPSUM WALLBOARD FROM FLOOR TO CONCRETE CURB TO 4" AT F. WITH 1/2" GYPSUM WALLBOARD FROM FLOOR TO CEILING BOARD TO 6" ABOVE CEILING H-ENT U.O.N. FINISH AS SCHEDULED.		

FLOOR PLAN NOTES		D
OUTDOORING		
A. ALL EXTERIOR WALLS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.		
B. DIMENSIONS NOTED AS CLEAR OR HOLD ARE MIN. REEED NET CLEARANCE FROM FACE OF WALL (MANAGED FINISH). VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FINISH.		
WINDOWS/DOORS		
A. SEE SCHEDULE FOR WINDOW TYPES AND DOOR SCHEDULE.		
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO TROUGH OPENING.		
FINISH SUBSTRATES		
A. FINISH TO FACE OF CEILING/FLOOR SLAB FROM FLOOR SLAB TO 12" AT F. MIN. IN LEU OF OPT. BE AT ALL WALLS EXCEPT BURNING SURFACES U.O.N.		
B. ALL JOINTS, GAPS OR SPICES LEADING TO ALL HOLLOW OR UNACCESSIBLE SPICES SHALL BE SEALED W/ 1/2" INTERPOLYMER APPROVED SEALANTS.		
C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE U.O.N.		
CEILING		
A. FINISH AS FOR BEARING PLAN AND DETAILS.		
B. SEE 2 FOR FLOOR FINISHES.		
C. SEE 18B-18B.3 FOR WALL FINISHES.		
D. SEE 11 FOR CEILING FINISHES.		
GENERAL		
A. PROVIDE THREE (3) FIRE EXTINGUISHERS: (2) 12 B, 20 LB. ABC, 10 COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHAL OR LOCAL AUTHORITY AGENT.		
B. DIMENSIONS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS OR NON-BURNING METAL PARTITIONS, BALANCE AND PARTS IS UNACCEPTABLE.		
C. ALL ATTACHMENTS MADE THROUGH EIFS SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER PAGE 7.		
D. ALL PENETRATIONS THROUGH EIFS SHALL BE SEALED USING MTR'S APPROVED METHOD.		

KEY NOTES		B
1. STARTING POINT: ALL SUB-FEATURES SHALL USE THIS POINT AS A BEGINNING LAYOUT POINT. FACE OF EXT. WALL STUDS.		
2. NO FRP SO-BOARD (SEE) WALLS IN COOLERS/PANTRIES.		
3. PIPES/SOLAR. SEE DETAIL 504.0.		
4. HOOD WALL. SEE WALL LEGEND.		
5. ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.		
6. COOL FILL BOX LOCATION.		
7. TILE TO METAL T-RES-HOLD.		
8. KEEP CLEAN FOR UTILITIES & STRIP LINES. SEE DETAIL 11 & 18/A8.1 FOR STUD LAYOUT REQUIREMENTS.		
9. HOP SINK. REFER TO SCHEDULE 20 & A2.1.		
10. S.S. CORNER GUARD (WALL CAP TYP.) TIP: ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN-SIDE OF THE SERVICE COUNTER. SEE DETAIL 18/A8.3.		
11. ELECT. PANELS NEEDED IN RM WALL.		
12. LIGHTING CONTROL PANEL SURFACE MOUNTED. REFER TO ELECT. DWGS.		
13. STRIP-LINE CHASE (W/DOOR). SEE DETAIL 18/A8.1.		
14. 1/2" X 1/2" HORIZONTAL OPENING FOR STRIP FLUKE. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL, CHASE TO COUNTER. SEE 18/A8.1.		

DESIGNER NOTE: VERIFY DETAIL	
15. ROOF LADDER. SEE 18/A8.0.	
16. ADD SECOND EXM WALL ON KITCHEN SIDE.	
17. REMOVABLE ASTRAGAL FROM INSIDE ONLY.	
18. METAL STUDS REQUIRED PER LOCAL CODES.	
19. 8" X 8" WATER HEATER LOCATION.	
20. SPLASH GUARD. SEE DETAIL 504.3.	
21. NOT USED.	
22. UN-TESTED WALL. REFER TO DETAIL 504.0.	
23. NOT USED.	
24. CASTED OPENING. REFER TO DETAIL 604.1.	
25. UP-LIGHT FEATURE. REFER TO ELECT. DWGS.	

Case No. P16013
 2005 Scotthill Woods Drive
 Preliminary PUD Plan Amendment



DESIGNER NOTE
OPTIMUM FOR FINISH
COORD ALL EQUIPMENT STORES
FINISH BEST OPTION
SELECT APPROPRIATE FINISH AND EDIT DRAWINGS ACCORDINGLY

EQUIPMENT/SEATING PLAN 1/4" = 1'-0" A

SYM	QTY	ITEM	SYM	QTY	ITEM
C130	1	PINE PLANK SETTEE BOOTHS - 48"	C270	6	FREESTANDING BASE - 22" X 22" X 26 3/4" TALL
C130	2	PINE PLANK SETTEE BOOTHS - 60"	C270	4	FREESTANDING BASE - 22" X 5 1/2" X 26 3/4" TALL
C130	29	RETRO CHAIR - 18"	C270	4	TABLE TOP - 24" X 19"
C130	6	BARREL BARSTOOL - 29"	C270	2	TABLE TOP - 24" X 42"
C130	1	SERVICE COUNTER & POS STATION	C270	2	TABLE TOP - 30" X 30"
C130	1	CONDIMENT COUNTER - RECTANGLE	C270	2	TABLE TOP - 24" X 48"
C130	1	WASTE ENCLOSURE - SINGLE			
C130	1	WASTE ENCLOSURE - DOUBLE			
C130	1	WB HUB TABLE - 72"			
C130	1	WB HUB TABLE ADA - 48"			

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 40 INT, 12 EXT.) E

SYM	QTY	ITEM	REMARKS
C130	1	TABLE 22 1/2" X 19"	SEE AS 6 FOR LOCATION
C130	1	LINEAR BELLS 36" X 10"	SEE AS 6 FOR LOCATION
C130	1	CONCRETE 28 3/4" X 10"	SEE AS 6 FOR LOCATION
C130	1	MASH UP 1 28 3/4" X 10"	SEE AS 6 FOR LOCATION
C130	1	MASH UP 2 28 3/4" X 10"	OPTIONAL

ARTWORK SCHEDULE D

RECORDS
1 REFER TO SC 3-SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
2 (1) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
3 (2) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE

STORAGE TYPE	LINEAR FT
DRY STORAGE	53
COLD STORAGE	35
FROZEN STORAGE	10

SHELVING QUANTITIES REQUIRED C2

- KEYNOTES B
- (1) 4000 PFC SUPPRESSION SYSTEM (MESH 8-160 OR COAL)
 - (2) SEE SHEET A-1 FOR SEGLARY DOOR PACKAGE
 - (3) MAINTAIN 36" MIN CLEAR ABLE EGRESS PATH-S TO EXIT DOORS
 - (4) 30" X 42" CLEAR FLOOR SPACE FOR HANDICAP ACCESS
 - (5) ALERT LIGHT BOX FOR 3-COUP POWER SOAK
 - (6) PULL STATION @ 3'-0" A-T-F
 - (7) GAS LINE DOWN TO EQUIPMENT
 - (8) COORDINATE LOCATION OF HORIZ PWC STYLUP CHASE THROUGH WALL TO COUNTER
 - (9) HIGH WATER HEATER PLATFORM
 - (10) SWITCHGEAR / ELECTRIC PANELS
 - (11) ROOF LADDER
 - (12) 2 LADDER
 - (13) SAFE
 - (14) SPLASH GUARD SET BINE 3

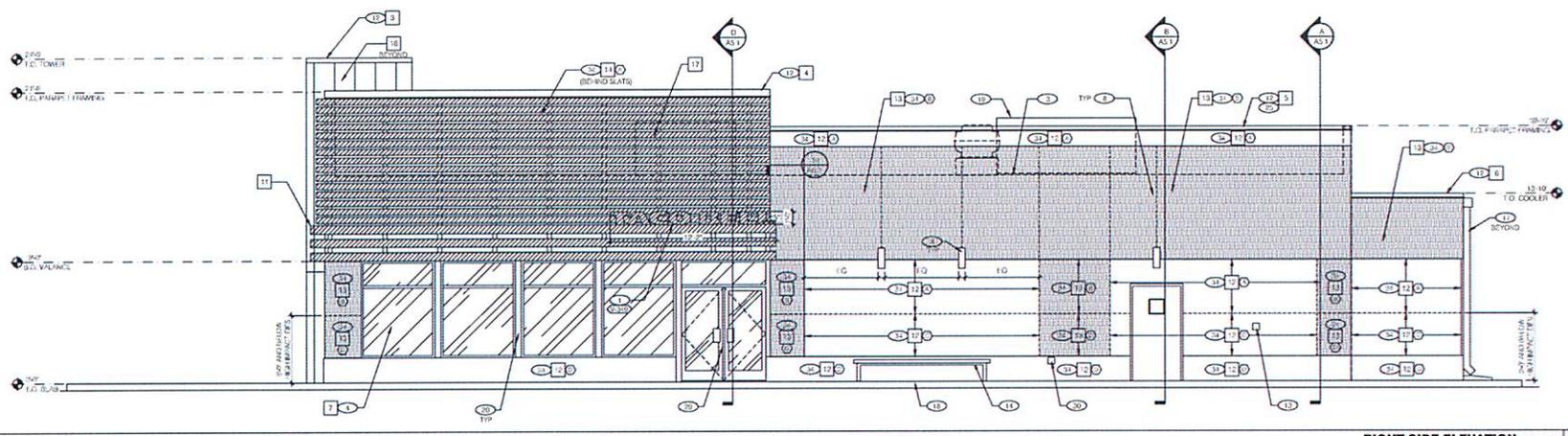
GENERAL NOTES C1

CONTRACT DATE XXXX.XX
BUILDING TYPE EXP LIFE MED-0
PLAN VERSION MAY 3, 2016
SITE NUMBER XXX-XXX
STORE NUMBER XXXXX

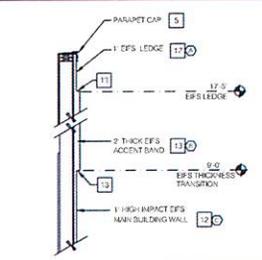
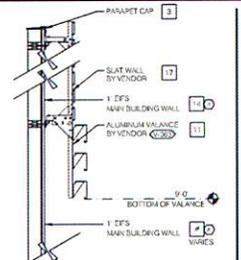
TACO BELL
3055 SCOTT-HILL WOODS ROAD
JEFFERSON CITY, MO 65101



EQUIPMENT AND SEATING PLAN
A2.0A



RIGHT SIDE ELEVATION 1/4" = 1'-0" A



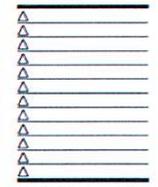
MISCELLANEOUS
 A. SUBMIT 3 WINDOW TYPES FOR WINDOW ELEVATIONS
EIFS (EIFS refers to SPICI)
 A. SEALANT IN ALL WALL AND ROOF PENETRATIONS
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS
 C. APPLY NEOPRENE GASKET (JOINT) BETWEEN BUILDING & CANOPY
CRITICAL DIMENSIONS
 A. INCLUDE CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SLOTTING/BUILDING ELEMENTS DIMENSIONS
NOTE: NO EXTERIOR SIGNS ARE WITH IN THE SCOPE OF WORK COVERED BY THIS BUILDING PERMIT APPLICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

- ① BASE THICKNESS - 1 THICK EIFS
- ② BASE THICKNESS - 2 THICK EIFS
- ③ BASE THICKNESS - 1 THICK EIFS WITH HIGH IMPACT MESH (ONLY WHERE NOTED) SEE DETAIL 316.2
- ④ BASE THICKNESS - 2 THICK EIFS WITH HIGH IMPACT MESH (ONLY WHERE NOTED) SEE DETAIL 316.3

E.I.F.S. THICKNESS N.T.S. B

NOTE: SIGNAGE UNDER SEPARATE PERMIT

QTY	ITEM DESCRIPTION	ELEC
2	TACO BELL, SELL SIGN 6'x10' 1/2" Hx 4' 3/4" W	X
3	TACO BELL LETTERS 1/2" HIGH, WHITE, FLAT FACED	X



CONTRACT DATE: XXXX/XX/XX
 BUILDING TYPE: EXP. LITE AED-G
 PLAN VERSION: MAY 5, 2016
 SHEET NUMBER: 100A.000
 STORE NUMBER: XXXXX

TACO BELL
 1025 SCHOTT-HILL WOODS ROAD
 JEFFERSON CITY, MO 65101



EXTERIOR ELEVATIONS
A4.0A

SLAT WALL COLOR TRANSITION N.T.S. I		EIFS THICKNESS COLOR TRANSITION N.T.S. G		GENERAL NOTES F	
SCHEDULE	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	CAVOPY RATTEN SCAM PAINT	SHERWIN WILLIAMS	SW007 WOODSCAPES DUCK CALDER		
2	CAVOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7067 ROCK BOTTOM		
3	PARAPET CAP (TOWER)	DURALAST	MEDIUM GRAYZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7089 IRON ORE
4	PARAPET CAP (ROOF)	DURALAST	SHERWIN WILLIAMS SW862 IMPULSE PURPLE EGG-HELL (P-1)		
5	PARAPET CAP COLOR	DURALAST	GALVALUME PLUS (FACTORY FINISH)		
6	PARAPET CAP (COLOR)	DURALAST	GALVALUME PLUS (FACTORY FINISH)		
7	STOREFRONT WINDOWS	TSD	CLEAR ANODIZED		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (8.5 POSTMAN COMB OR EQUAL)		
9	PARAPET BACK ROOFING	DURALAST	T-1E COLOR SHALL BE FACTORY COLORED TAN - EQUAL ALTERNATE ALLOWED		
10	AWNING PATIO ROOF, COOLER WALL	SPENCER	S-DOCK PREWEATHERED GALVALUME		
11	VALANCE COLOR	SGH VENDOR	SW 7071 STATUS SPRONZE (EQUAL)		
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7067 CITYSCAPE	LOTUSAN	NANB-011
13	ACCENT COLOR	SHERWIN WILLIAMS	SW 6018 PACER WHITE	LOTUSAN	NANB-010
14	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6021 CLEMATIS		
15	NOT USED				
16	METAL PANELS	WESTERN STATES METAL ROOFING	12 ANOD-FLUSTRAL PANELS		
17	SLAT WALL	SGH VENDOR	WOOD LIKE FINISH TSD BY VENDOR		

EXTERIOR FINISH SCHEDULE H

- NOT USED N.T.S. E**
- ① BUILDING SIGN BY VENDOR - REQUIRES ELECTRICAL - SEE ELECTRICAL PLANS
 - ② DRIVE THRU WINDOW - SEE SHEET A1.6 AND A1.1
 - ③ DASH-TO-LINE INDICATES ROOF BEYOND
 - ④ STOREFRONT, TYPICAL
 - ⑤ PLATE STEEL POST - SEE STRUCTURAL DWGS
 - ⑥ SWITCH GEAR - PAINT TO MATCH WALL
 - ⑦ NOT USED
 - ⑧ LIGHT SOURCE - ALONG BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH EPS INSULATION (CHANGE IF DIFF. THICKNESS)
 - ⑨ ASSUME DETAIL SURFACE IS @ BELOW THE FINISH FLOOR - REFER TO GRADING & SITE PLAN
 - ⑩ NOT USED
 - ⑪ TOWER WITH METAL PANEL FINISH
 - ⑫ PARAPET COPING IF DURALAST EDGE TRIM IS USED - USE T-1E DURALAST PRE-FINISHED EDGE TRIM - SEE DETAIL 316.0
 - ⑬ COOL THERM VALVE & COVER - SEE DETAIL 316.2 SH
 - ⑭ NOT USED
 - ⑮ GAS SERVICE
 - ⑯ WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCH GEAR

NOT USED N.T.S. E

- SIGN SCHEDULE N.T.S. C**
- ⑰ SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT & MIN. PAINT TO MATCH ADJACENT WALL
 - ⑱ CONCRETE CURBS
 - ⑳ RTU BEYOND - PAINT TO MATCH MAIN BUILDING COLOR
 - ㉑ BASKET METAL COVER OVER WOOD STUCCO TO MATCH STOREFRONT - SEE SIB 1
 - ㉒ OVERFLOW SCUPPER - SEE ROOF PLAN
 - ㉓ WOOD ANTTERS - SEE STRUCTURAL DWGS
 - ㉔ BOLLARD
 - ㉕ DURALAST SINGLE VENDORIAN ROOFING OR EQUAL
 - ㉖ IF THE DURALAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED
 - ㉗ WOOD HEADER BEAM - SEE STRUCTURAL DWGS
 - ㉘ PATIO WALL - SEE DETAIL 316.2
 - ㉙ CONTINUOUS LIGHT FIXTURE RUNNER ON PATIO WALL BY OTHERS
 - ㉚ STOREFRONT DOOR - REFER TO DOOR SCHEDULE
 - ㉛ HOSE BIB LOCATION - REFER TO PLUMBING AND DETAIL 316.2
 - ㉜ GUTTER AND DOWNSPOUT PAINT TO MATCH COLUMN
 - ㉝ METAL AWNING - BY OTHERS
 - ㉞ NOT USED
 - ㉟ EIFS (EIFS) - SEE 2 & 16.2

KEY NOTES D

Case No. P16013
 2005 Schotthill Woods Drive
 Preliminary PUD Plan Amendment

TACO BELL
 2005 SCHOTTHILL WOODS RD.
 JEFFERSON CITY, MO
 PREPARED BY: JOHN BUJAKE
 ACCUSERV LIGHTING & EQUIPMENT
 877-707-7378
 502-961-0357 FAX
 jbjake@accu-serv.com
 SEPTEMBER 9, 2016

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.45	24.4	0.0	N.A.	N.A.
VEHICULAR SURFACE	2.49	6.6	0.6	4.15	11.00

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

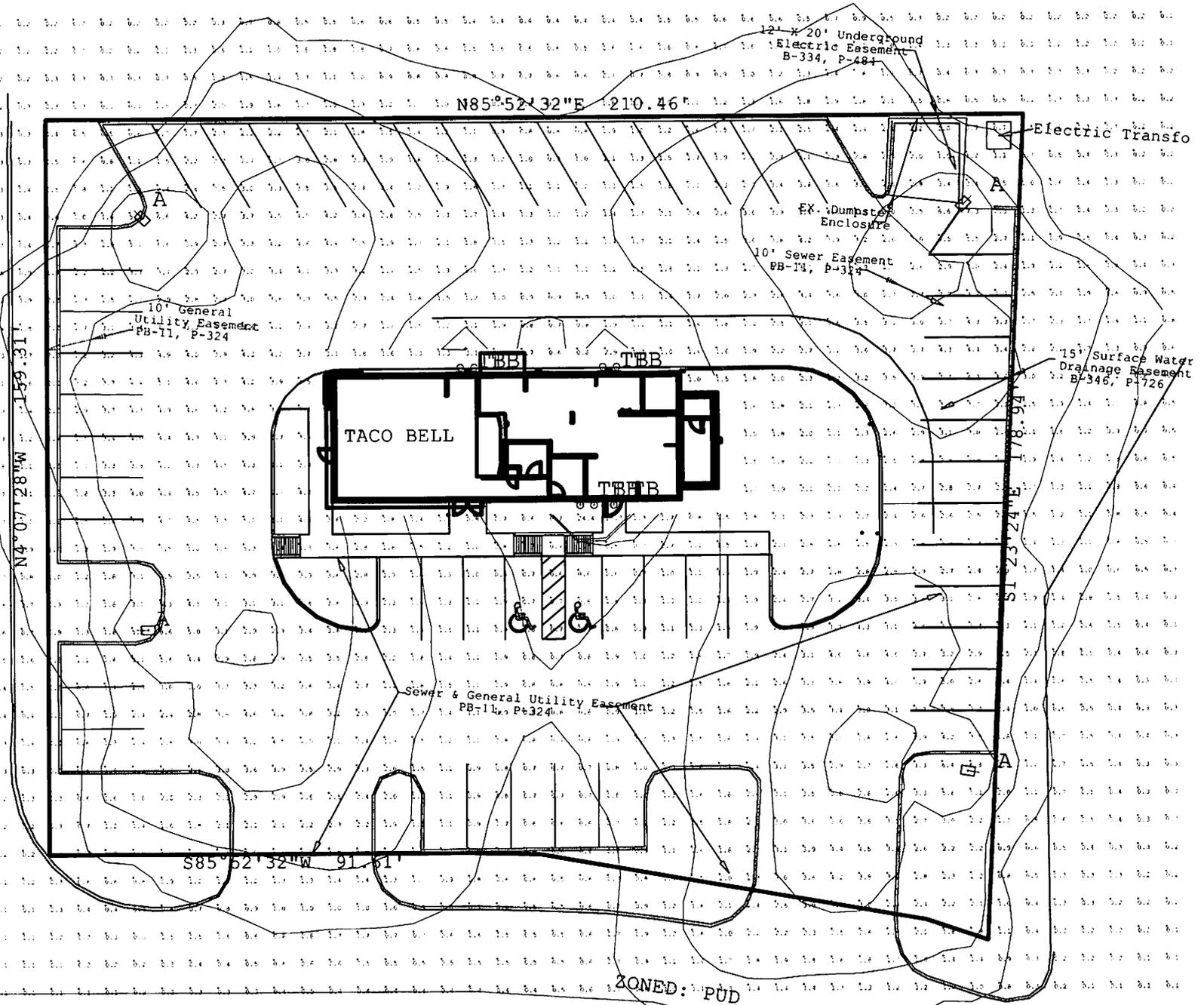
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
☐	4	A	SINGLE	29714	0.900	325	CL1-A-90L-U-4K-4-105-DB / SETA-DB / SSS-S-25-40-A-TA-S2-DB
⊖	7	TB	SINGLE	1219	0.900	26	ACCU 05247-051-052 @ 9.17' A.F.G.

ALL FIXTURES AND POLES ARE NEW
 SITE FIXTURES ARE 325W 4000K LED w/ FLAT LENSES
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan Amendment

ZONED: PUD

ZONED: PUD



ZONED: PUD
ZONED: C-1

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan Amendment

City of Jefferson

Department of Planning & Protective Services
320 E. McCarty St.
Jefferson City, MO 65101



Carrie Tergin, Mayor

Janice McMillan, AICP, Director
Phone: 573-634-6410
Fax: 573-634-6457

September 28, 2016

Dear Property Owner:

This letter is to notify you that the Jefferson City Planning and Zoning Commission will meet at 5:15 p.m. on Thursday, October 13, 2016 in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street, to consider the following matter (see map on back):

Case No. P16013 – 2005 Schotthill Woods Drive – Preliminary PUD Plan Amendment. Request filed by CAC Real Estate, property owner, Chris McCrea, applicant, for a Preliminary PUD Plan Amendment to demolish the existing restaurant on the property and construct a new 2,200 sf restaurant with drive through lane. The property is located on the northeast corner of Eastland Drive and Schotthill Woods Drive and is described as part of Lot 60 of Schotthill Woods Section 2, Jefferson City, Missouri (Weihe Engineers, Consultant).

As a nearby landowner and/or neighbor, you have the privilege of attending this hearing. Unfortunately, we are unable to record comments received by telephone, however, written comments may be directed to the Planning and Zoning Commission in one of the following ways:

e-mail: jcplanning@jeffcitymo.org
fax: Dept. of Planning and Protective Services / Planning Division 573-634-6457
mail: Dept. of Planning and Protective Services / Planning Division
John G. Christy Municipal Building, 320 E. McCarty Street Jefferson City, MO 65101

Written comments received on or before 1:00 p.m. on the day of the meeting will be made a part of the official record and copied and distributed to Commission members at the meeting. Those unable to provide written comments in advance are invited to deliver their comments to the Commission Chairman only at the meeting. Correspondence received after 1:00 p.m. will be included in the official record, but there is no guarantee that copies will be made for distribution to all Commission members.

For your information, this case is tentatively scheduled for a public hearing in front of the City Council on November 21, 2016. The City Council meets at 6:00 p.m. in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street.

Information regarding this case may be viewed on the Planning and Zoning Commission webpage at: www.jeffersoncitymo.gov.

If you have any questions concerning this matter, please feel free to contact us at 573.634.6475.

Sincerely,

A handwritten signature in blue ink that reads "Eric Barron".

Eric Barron, AICP
Senior Planner

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Please call (573) 634-6410 with questions regarding agenda items.

Property Owner List

Case No. P16013

2005 Schotthill Woods Drive

October 13, 2016

THREE FOUNTAINS L L C
ATTN: PROPERTY TAX DEPT
C/O WALGREEN CO
PO BOX 1159
DEERFIELD, IL 60015
900 EASTLAND DR

CITY OF JEFFERSON
320 E MCCARTY ST
JEFFERSON CITY, MO 65101
EASTLAND DR

MISSOURI CREDIT UNION
111 E BROADWAY ST
COLUMBIA, MO 65203
910 EASTLAND DR

HEISLEN, GARY D & LISA M
920 EASTLAND DR
JEFFERSON CITY, MO 65101
920 EASTLAND DR

KAMPETER, KEVIN B
KAMPETER, B JACQUELYN
924 EASTLAND DR
JEFFERSON CITY, MO 65101
924 EASTLAND DR

MCENTIRE, HARRY E & LINDA L
2001 FOX TRL
JEFFERSON CITY, MO 65101
2001 FOX TRL

MANKIN, KURT L & LISA M
2120 DEER TRL
JEFFERSON CITY, MO 65101
2000 SCHOTTHILL WOODS DR

HALBROOK, JOEY K & MARY E
2007 FOX TRL
JEFFERSON CITY, MO 65101
2007 FOX TRL

WALGREENS
ATTN: STORE MANAGER
900 EASTLAND DR
JEFFERSON CITY, MO 65101

MISSOURI NATIONAL GUARD CREDIT UNION
2009 SCHOTTHILL WOODS DR
JEFFERSON CITY, MO 65101-5509
2009 SCHOTTHILL WOODS DR

C A C REAL ESTATE L L P
PO BOX 22845
OKLAHOMA CITY, OK 73123-1845
2005 SCHOTTHILL WOODS DR *(Subject Property)*

JEFFERSON BANK OF MISSOURI
700 SOUTHWEST BLVD
JEFFERSON CITY, MO 65109
901 EASTLAND DR

T - MOBILE
C/O DUFF & PHELPS
DBA/VERIZON WIRELESS
PO BOX 260968
PLANO, TX 75026-0968
905 EASTLAND DR REAR

A B C O MANAGEMENT L L C
419 VIRGINIA TRL
JEFFERSON CITY, MO 65109
905 EASTLAND DR

DALESSANDRO, STEPHEN ANDREW
2011 FOX TRL
JEFFERSON CITY, MO 65101
2011 FOX TRL

FLOWERS, JAMES W
2012 FOX TRL
JEFFERSON CITY, MO 65101
2012 FOX TRL

FENNESSEY, THOMAS W & LINDA M
2008 FOX TRL
JEFFERSON CITY, MO 65101
2008 FOX TRL

EIGHMEY, REX RICHARD & CAROL A, TRUSTEES
1003 EASTLAND DR
JEFFERSON CITY, MO 65101
1003 EASTLAND DR

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant



185 ft. Notification Buffer



Jefferson City
Planning & Zoning Commission

October 13, 2016

**Case No. P16014
Providence Bank
815 W Stadium Boulevard**

Rezoning from C-1 to C-2

PLANNING STAFF REPORT
JEFFERSON CITY PLANNING AND ZONING COMMISSION
October 13, 2016

Case No. P16014 – 815 West Stadium Boulevard, Rezoning from C-1 to C-2. Request filed by Providence Bank, property owner, for a rezoning of 2.85 acres from C-1 Neighborhood Commercial to C-2 General Commercial. The property is located on the east side of West Stadium Boulevard 250 feet south of Hyde Park Road and is described as part of lot 67 of Jordon Towne Subdivision, Jefferson City, Missouri.

Nature of Request

The property owner desires to remove their existing signage and replace with new signage. The C-1 zoning of the property permits a maximum sign height of 10 feet. The existing freestanding sign on the property is approximately 23 feet tall, and the owner wishes to replace it with a sign of similar height. Because the sign is nonconforming, a permit cannot be issued for a new sign greater than 10 feet in height. The owner has applied to rezone the property to a C-2 General Commercial district, which would permit a sign height of up to 32 feet.

Zoning History

The property was annexed into the City Limits of Jefferson City in 1977, and has had a C-1 zoning since that time.

Zoning and Surrounding Land Use

Current Zoning: C-1

Current Use: Bank with drive through lane

Requested Zoning: C-2

Intended Use: Bank with drive through lane

	Surrounding Zoning	Surrounding Uses
North	C-1	Commercial Office
South	RC/RS-2	Wears Creek/Undeveloped Farmland
East	C-1	Bank Offices
West	C-2	Stoneridge Village Retail Development/Big Box Retail

Allowed Uses:

Allowed Uses: The C-2 General Commercial zoning district allows for a variety of land uses including general retail, offices, hotels, sit-down or drive through restaurants, banks, automobile sales, automobile repair, contractor and trade shops, and gas stations. Please see the Land Use Matrix in the Zoning Code for a more detailed list of permitted uses.

Staff Analysis

Standard checklist for rezoning:	Yes	No	Notes:
Complies with Comprehensive Plan	X		The Comprehensive Plan identifies this property as intended for Commercial use. Frontage on an arterial street across from a big box retail development justifies the higher commercial zoning.
Has access to necessary utilities	X		The existing building is served by all necessary utilities.
Located outside flood zone		X	Small portions of the property lie within the 100 year floodplain.
Meets district size requirement	X		The rezoning would be an expansion of an existing C-2 district and meets the minimum one acre size for the C-2 district.
Benefit to City is substantial when compared to adverse affects on adjacent property	X		The property is adjacent to an arterial street and across from an existing big box retail development. An upgrade of the zoning of the property from C-1 to C-2 would be a benefit to the City.

Staff Recommendation

Rezoning Request:

The property is bordered to the west by existing C-2 General Commercial zoning and has frontage on an arterial street. The property is ideal for a higher level of zoning than the current C-1 Neighborhood Commercial. Staff recommends approval of the request to rezone the property to C-2 General Commercial.

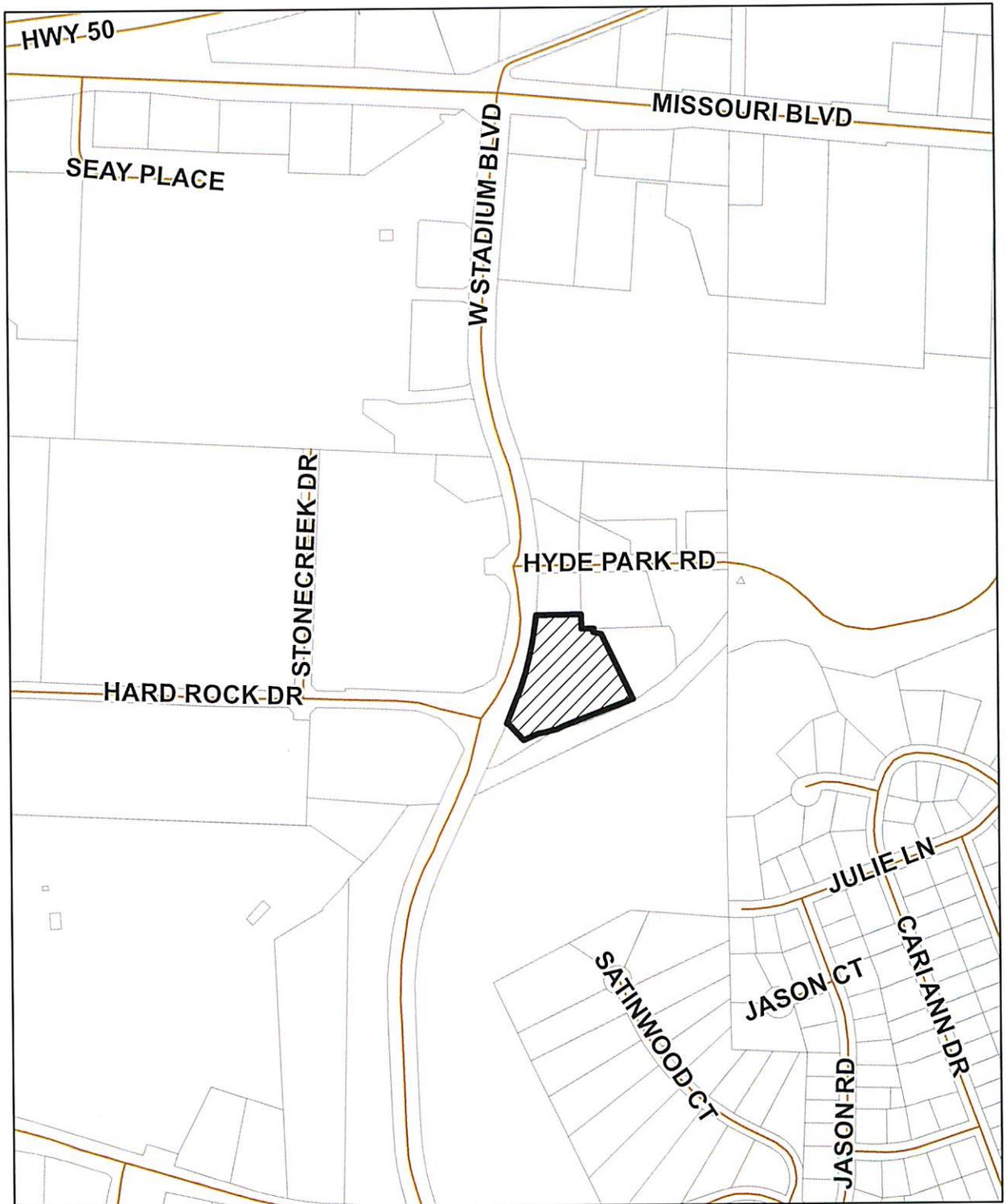
	Approve	Deny	Neutral
Staff Recommendation	X		

Form of Motion

Motion to approve the request to rezone the property from C-1 to C-2.

City of Jefferson Planning & Zoning Commission

VICINITY

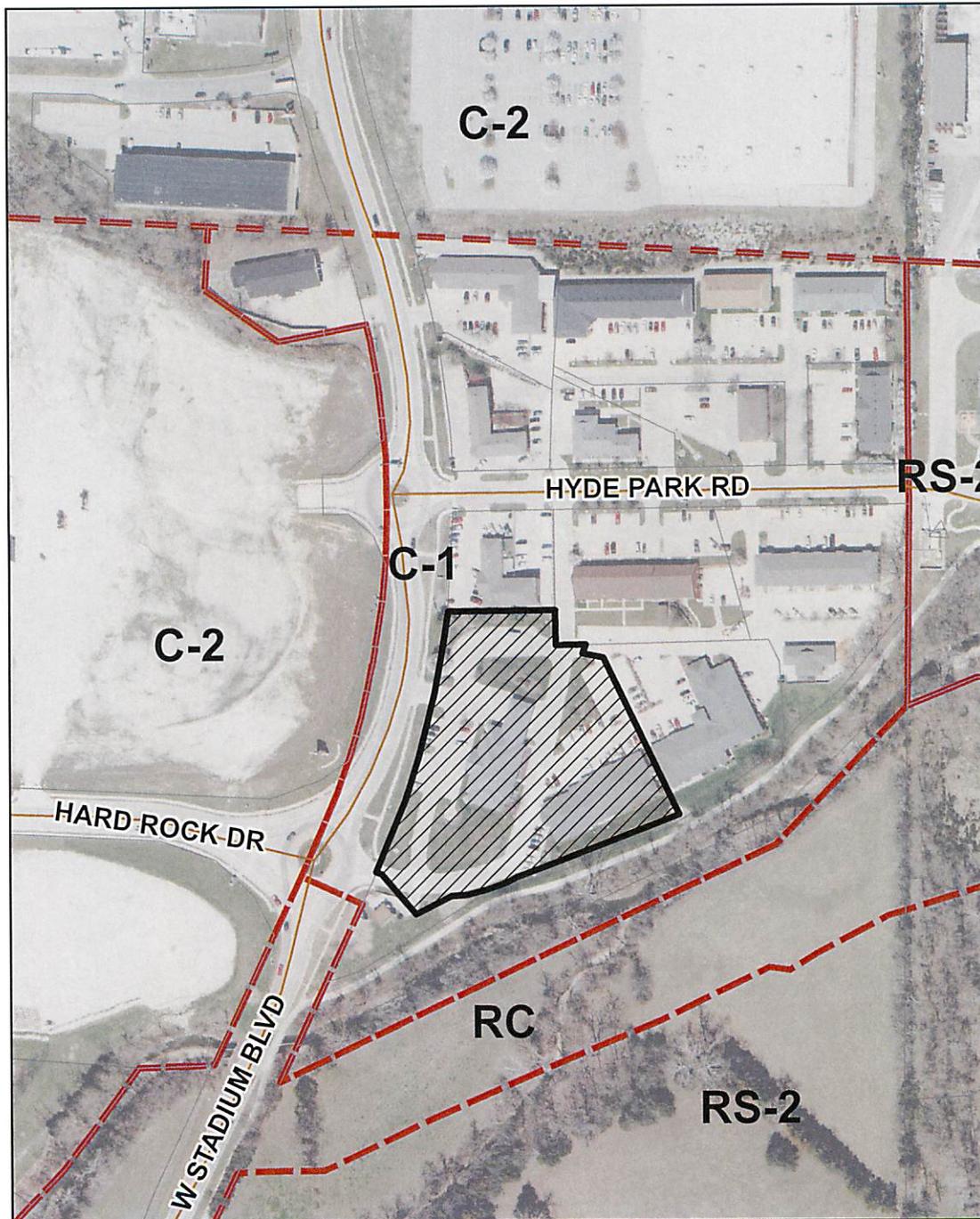


Case No. P16014
815 W. Stadium Blvd.
Rezoning from C-1 to C-2

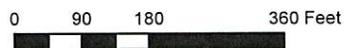


City of Jefferson Planning & Zoning Commission

LOCATION MAP



Case No. P16014
815 W. Stadium Blvd.
Rezoning from C-1 to C-2





City of Jefferson
 Department of Planning & Protective Services
 320 E. McCarty Street
 Jefferson City, MO 65101
 Phone: 573-634-6410
icplanning@jeffcitymo.org
www.jeffersoncitymo.gov



APPLICATION FOR ZONING AMENDMENT

The undersigned hereby petitions the Planning and Zoning Commission and City Council of the City of Jefferson, Missouri, for the following amendment to the Zoning Code:

- Zoning Text Amendment (Describe below or attach complete narrative)
 Article and Section Affected (if applicable): _____

Description of proposed text amendment: _____

- Zoning Map Amendment (Rezoning of Real Estate)

The undersigned hereby state they are the owners of the following described real estate:

Property Address: 815 W. Stadium Blvd., Jefferson City, MO

Legal/Property Description (write out or attach as an exhibit): See Attached Exhibit "A" - Legal Description

Who petition to rezone the above described real estate from its present classification of C-1 district to C-2 district. The purpose of this rezoning request is to: _____
Bring subject property in line with surrounding property uses.

Subject property is banking service. Zoning change would align property with adjacent and surrounding commercial uses and allow property to advertise on level with adjacent uses.

ALL OWNERS OF REAL PROPERTY PROPOSED TO BE REZONED MUST SIGN THE APPLICATION, AND ALL SIGNATURES MUST BE NOTARIZED. IF ADDITIONAL SIGNATURES ARE NEEDED, PLEASE ATTACH SEPARATE SHEETS.

Providence Bank

Property Owner #1 Name (type or print)



Property Owner Signature JENNIFER MEACE, EVP.

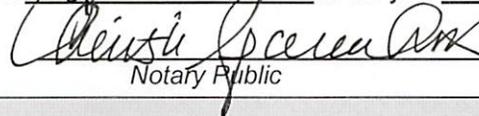
Property Owner #2 Name (type or print)

Property Owner Signature



CHRISTI SPAUNHORST
 My Commission Expires
 July 9, 2018
 Cole County
 Commission #14910979

Subscribed and sworn before me this 12 day of September in the year 2016.


 Notary Public

Address of Property Owner #1	
Name	Providence Bank
Mailing Address	3855 Forum Boulevard, Columbia, Missouri 65203
Phone Number	636-397-3916 / 12162
Address of Property Owner #2	
Name	
Mailing Address	
Phone Number	

For City Use Only: Application Filing Fee \$210 (Revised June 30, 2015)
 Payment Received: ___ Cash (Receipt # _____); ___ Check (Copy; check # _____)
 Attachments: ___ Additional sheets or documentation ___ Applicant/Project Information Sheet ___ Location Map

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Exhibit A
Legal Description for Application for Zoning Amendment
(815 W. Stadium Boulevard, Jefferson City, Missouri)

Tax Parcel 10-01-11-0003-001-015.002

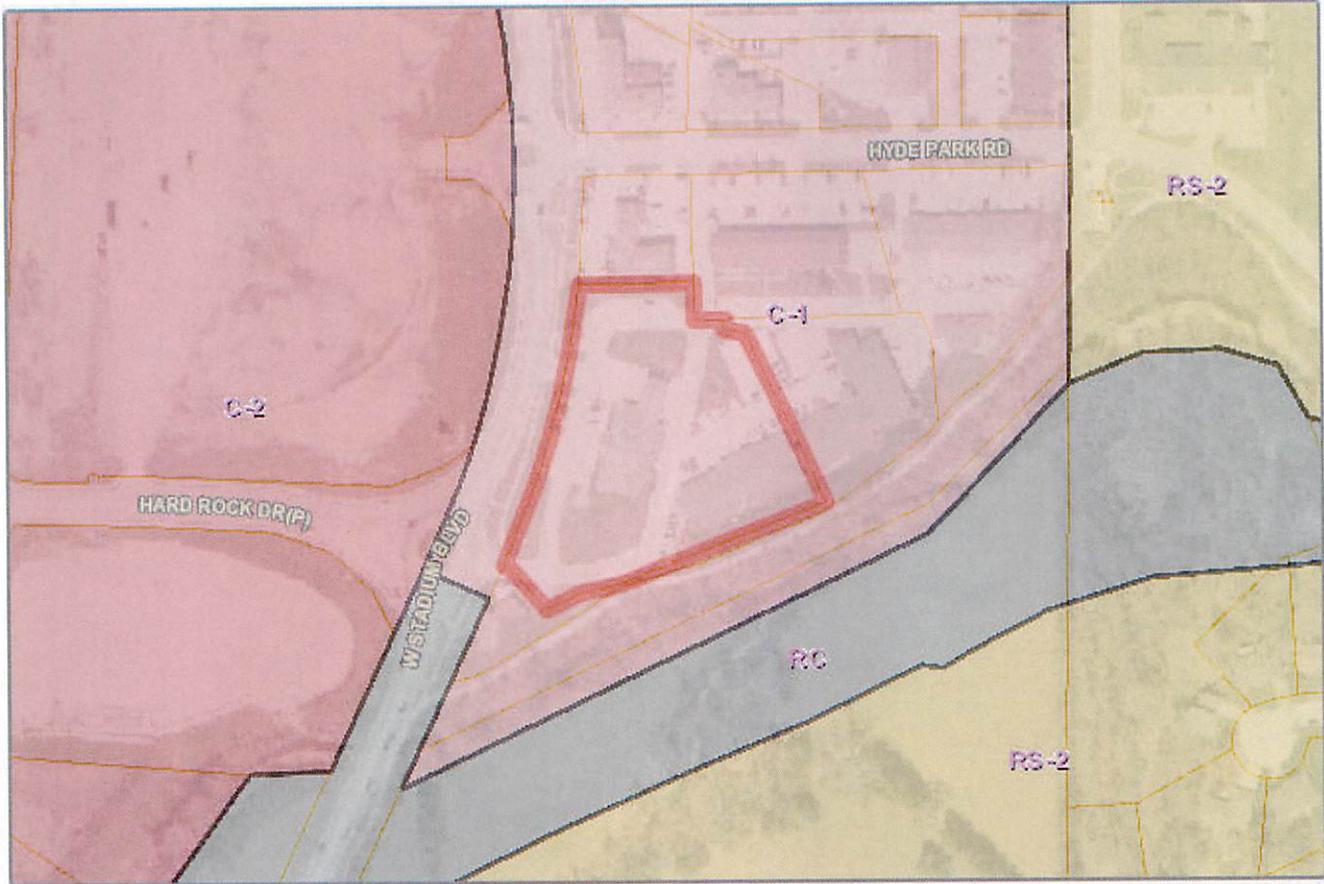
PART OF LOT NO. 67, OF JORDAN TOWNE SUBDIVISION, IN THE CITY OF JEFFERSON, MISSOURI, AS PER PLAT OF RECORD IN PLAT BOOK 11, PAGE 60, COLE COUNTY RECORDER'S OFFICE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
FROM THE NORTHWESTERLY CORNER OF SAID LOT 67; THENCE SOUTHERLY, ALONG THE WESTERLY LINE OF SAID LOT 67, ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 1323.24 FEET, AN ARC DISTANCE OF 150.00 FEET, (CHORD SOUTH 03 DEGREES 17 MINUTES 22 SECONDS EAST, 149.92 FEET) TO THE NORTHWESTERLY CORNER OF A TRACT OF LAND DESCRIBED BY DEED OF RECORD IN BOOK 369, PAGE 378, COLE COUNTY RECORDER'S OFFICE, AND THE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE ALONG THE NORTHERLY AND EASTERLY BOUNDARY OF SAID TRACT THE FOLLOWING COURSES: NORTH 82 DEGREES 21 MINUTES 34 SECONDS EAST, 161.89 FEET; THENCE SOUTH 07 DEGREES 50 MINUTES 09 SECONDS EAST, 52.00 FEET; THENCE NORTH 82 DEGREES 09 MINUTES 51 SECONDS EAST, 45.02 FEET; THENCE SOUTH 09 DEGREES 33 MINUTES 53 SECONDS WEST, 362.09 FEET; THENCE LEAVING THE BOUNDARY OF SAID TRACT, SOUTH 57 DEGREES 39 MINUTES 48 SECONDS WEST, 5.71 FEET; THENCE SOUTHWESTERLY ON A CURVE TO THE RIGHT HAVING A RADIUS OF 290.00 FEET, AN ARC DISTANCE OF 98.35 FEET, (CHORD SOUTH 67 DEGREES 22 MINUTES 43 SECONDS WEST, 97.88 FEET); THENCE SOUTH 57 DEGREES 39 MINUTES 58 SECONDS WEST, 58.26 FEET TO A POINT ON THE SOUTHEASTERLY EXTENSION OF THE NORTHEASTERLY LINE OF A TRACT OF LAND DESCRIBED IN BOOK 335, PAGE 941, COLE COUNTY RECORDER'S OFFICE; THENCE NORTH 48 DEGREES 24 MINUTES 37 SECONDS WEST, ALONG SAID EXTENSION AND ALONG THE NORTHEASTERLY LINE OF SAID TRACT, 79.28 FEET; THENCE NORTH 80 DEGREES 44 MINUTES 02 SECONDS WEST, ALONG THE NORTHEASTERLY LINE OF SAID TRACT IN BOOK 335, PAGE 941, 9.56 FEET TO THE WESTERLY LINE OF SAID LOT 67; THENCE NORTHERLY, ALONG THE WESTERLY LINE OF SAID LOT 67, ON A CURVE TO THE LEFT HAVING A RADIUS OF 1323.24 FEET, AN ARC DISTANCE OF 404.85 FEET, (CHORD NORTH 08 DEGREES 43 MINUTES 23 SECONDS EAST, 403.27 FEET), TO THE POINT OF BEGINNING.

AND

PART OF LOT NO. 67, OF JORDAN TOWNE SUBDIVISION, IN THE CITY OF JEFFERSON, MISSOURI, AS PER PLAT OF RECORD IN PLAT BOOK 11, PAGE 60, COLE COUNTY RECORDER'S OFFICE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
FROM THE NORTHEASTERLY CORNER OF SAID LOT NO. 67; THENCE SOUTH 82 DEGREES 09 MINUTES 51 SECONDS WEST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF HYDE PARK ROAD, 290.85 FEET TO THE NORTHEAST CORNER OF THE EIGHTH TRACT OF LAND DESCRIBED IN BOOK 365, PAGE 143, COLE COUNTY RECORDER'S OFFICE; THENCE ALONG THE BOUNDARY OF SAID EIGHTH TRACT THE FOLLOWING COURSES: SOUTH 22 DEGREES 53 MINUTES 52 SECONDS EAST, 183.30 FEET; THENCE SOUTH 82 DEGREES 09 MINUTES 51 SECONDS WEST, 167.55 FEET; THENCE LEAVING THE BOUNDARY OF SAID EIGHTH TRACT IN BOOK 365, PAGE 143, SOUTH 07 DEGREES 50 MINUTES 09 SECONDS EAST, 25.00 FEET; THENCE SOUTH 82 DEGREES 09 MINUTES 51 SECONDS WEST, 74.98 FEET TO A CORNER ON THE EASTERLY LINE OF A TRACT DESCRIBED BY DEED OF RECORD IN BOOK 369, PAGE 378, COLE COUNTY RECORDER'S OFFICE; THENCE SOUTH 09 DEGREES 33 MINUTES 53 SECONDS WEST, ALONG THE EASTERLY LINE OF SAID TRACT, 13.84 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID EASTERLY LINE SOUTH 85 DEGREES 07 MINUTES 53 SECONDS EAST, 31.48

FEET; THENCE SOUTH 33 DEGREES 17 MINUTES 18 SECONDS EAST, 151.41 FEET; THENCE SOUTH 32 DEGREES 15 MINUTES 50 SECONDS EAST, 108.37 FEET; THENCE SOUTH 61 DEGREES 58 MINUTES 24 SECONDS WEST, 260.76 FEET TO THE SOUTHEASTERLY LINE OF SAID TRACT DESCRIBED BY DEED OF RECORD IN BOOK 369, PAGE 378; THENCE ALONG THE EASTERLY LINE OF SAID TRACT NORTH 09 DEGREES 33 MINUTES 53 SECONDS EAST, 348.25 FEET TO THE POINT OF BEGINNING.

MidMoGIS, MO



Parcel ID	1001110003001015002	Book-Page Date	369-378 6/29/1995
Owner Name	PROVIDENCE BANK A MISSOURI BANKING CORPORATION % ACCOUNTS PAYABLE	Sec/Twn/Rng	11/44/12
Mailing Address	PO BOX 105288	Square Feet (Above Grade)	0
City State ZIP	JEFFERSON CITY, MO 65110-5288	Basement Type	
Property Address	815 W Stadium Blvd	Finished Bsmnt. Size (Sq. Ft.)	
Subdivision	JORDAN TOWNE	Year Built	0
Subdivision Image	JORDAN TOWNE	Date Certified	1/1/2016
Property Description	PART LOT 67 TRACT A-1 & TRACT D 2 AS SHOWN ON SURVEY IN BK A PG 463	Property Values (Land)	Comm: \$555,400 Ag: \$0 Res: \$0
Book-Page Date	602-678 3/17/2011	Property Values (Improv.)	Comm: \$1,663,800 Ag: \$0 Res: \$0
Book-Page Date	458-259 5/2/2002	Appraised Value	\$2,219,200

Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Map Scale
1 inch = 269 feet
 9/26/2016

Case No. P16014
815 W Stadium Boulevard
Rezoning from C-1 to C-2

City of Jefferson

Department of Planning & Protective Services
320 E. McCarty St.
Jefferson City, MO 65101



Carrie Tergin, Mayor

Janice McMillan, AICP, Director
Phone: 573-634-6410
Fax: 573-634-6457

September 28, 2016

Dear Property Owner:

This letter is to notify you that the Jefferson City Planning and Zoning Commission will meet at 5:15 p.m. on Thursday, October 13, 2016 in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street, to consider the following matter (see map on back):

Case No. P16014 – 815 West Stadium Boulevard, Rezoning from C-1 to C-2.

Request filed by Providence Bank, property owner, for a rezoning of 2.85 acres from C-1 Neighborhood Commercial to C-2 General Commercial. The property is located on the east side of West Stadium Boulevard 250 feet south of Hyde Park Road and is described as part of lot 67 of Jordon Towne Subdivision, Jefferson City, Missouri.

As a nearby landowner and/or neighbor, you have the privilege of attending this hearing. Unfortunately, we are unable to record comments received by telephone, however, written comments may be directed to the Planning and Zoning Commission in one of the following ways:

e-mail: jcplanning@jeffcitymo.org

fax: Dept. of Planning and Protective Services / Planning Division 573-634-6457

mail: Dept. of Planning and Protective Services / Planning Division

John G. Christy Municipal Building, 320 E. McCarty Street Jefferson City, MO 65101

Written comments received on or before 1:00 p.m. on the day of the meeting will be made a part of the official record and copied and distributed to Commission members at the meeting. Those unable to provide written comments in advance are invited to deliver their comments to the Commission Chairman only at the meeting. Correspondence received after 1:00 p.m. will be included in the official record, but there is no guarantee that copies will be made for distribution to all Commission members.

For your information, this case is tentatively scheduled for a public hearing in front of the City Council on November 21, 2016. The City Council meets at 6:00 p.m. in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street.

Information regarding this case may be viewed on the Planning and Zoning Commission webpage at: www.jeffersoncitymo.gov.

If you have any questions concerning this matter, please feel free to contact us at 573.634.6475.

Sincerely,

A handwritten signature in blue ink that reads "Eric Barron".

Eric Barron, AICP
Senior Planner

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Please call (573) 634-6410 with questions regarding agenda items.

LAUF, HARRY F & JUNE L, TRUSTEES
2340 W EDGEWOOD DR
JEFFERSON CITY, MO 65109
2340 W EDGEWOOD DR

PRESTIGE INVESTMENTS L L C
757 W STADIUM BLVD, #C
JEFFERSON CITY, MO 65109
757 W STADIUM BLVD, #C

JORDAN, RONALD L
JORDAN, JAMES C
JORDAN, ROBERT N
PO BOX 104891
JEFFERSON CITY, MO 65110
2422 HYDE PARK RD
2419 HYDE PARK RD

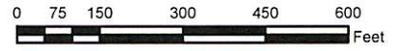
EPPLE HOLDING L L C
805 W STADIUM BLVD
JEFFERSON CITY, MO 65109
805 W STADIUM BLVD

CITY OF JEFFERSON
PARKS & REC COMM
320 E MCCARTY ST
JEFFERSON CITY, MO 65101
817 STADIUM BLVD REAR

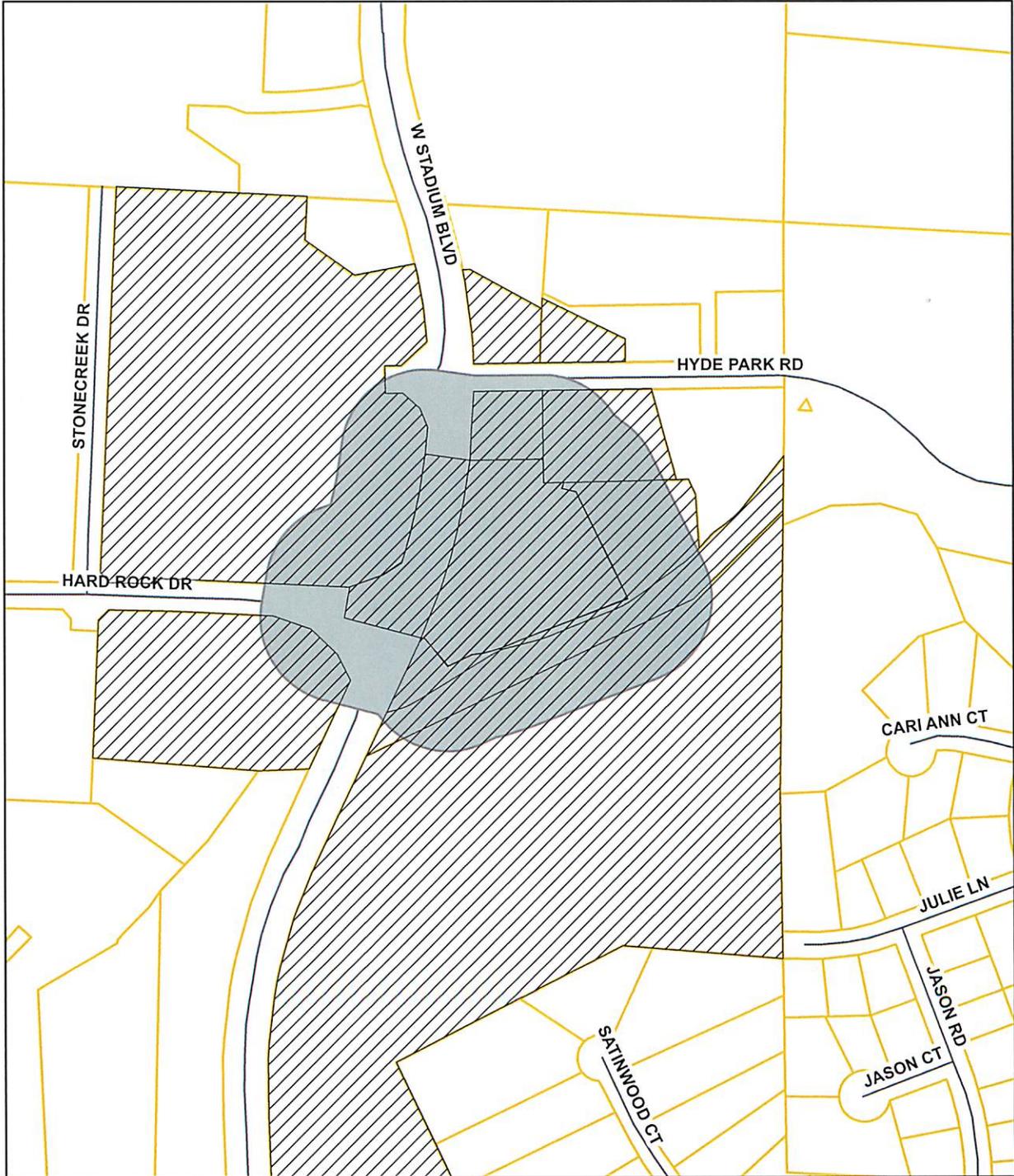
PROVIDENCE BANK
C/O ACCOUNTS PAYABLE
A MISSOURI BANKING CORPORATION
PO BOX 105288
JEFFERSON CITY, MO 65110-5288
815 W STADIUM BLVD (*Subject Property*)
813 W STADIUM BLVD

LAND DEVELOPMENT CO
8514 LIBERTY RD
JEFFERSON CITY, MO 65101
800 W STADIUM BLVD
2505 HARD ROCK DR

Case No. P16014
815 W. Stadium Blvd.
Rezoning from C-1 to C-2



185 ft. Notification Buffer



Jefferson City
Planning & Zoning Commission

October 13, 2016

**Case No. P16015
Twenty Seven Properties LLC
2220 Weathered Rock Road**

Preliminary PUD Plan

Jefferson City
Planning & Zoning Commission Meeting
Engineering Division Staff Report
Thursday, October 13, 2016, 5:15pm

Case No. P16015 – Preliminary Site Plan, Two (2) Residential Triplexes, 2220 Weathered Rock Road (PUD)

ENGINEERING STAFF RECOMMENDATION- Engineering Staff supports approval of this request, *subject to preliminary plan being revised to address technical comments below.*

Existing Infrastructure

- Existing infrastructure serves this development.
 - An existing drainage swale is adjacent to the property, along Lorenzo Greene Drive.
 - An eight (8) inch diameter sanitary sewer main serves the property.
 - Utilities exist to serve this property along Weathered Rock Road.
 - Some sidewalk does exist in the area.
 - Access to this site is from Weathered Rock Road.

Site Improvements

- **Storm Water Drainage/Quality**

Storm water drainage from the site will drain to the southwest to the swale along Lorenzo Greene Drive.

 - The lower portion of the property could be used as a vegetated (grassed) filter strip to address the added impervious area for Storm Water Quality Benefit.
 - Drainage from the triplexes and the drive areas can sheet drain down the fill slope and through this low area to the swale along Lorenzo Greene Drive.
 - Label the low area as a vegetated grass filter strip area.*
 - Label the acreage of the property.*
 - A small increase in the impervious area is being proposed for the site.
 - Erosion and sediment control will be needed with the final plan.*
- **Sanitary Sewer**

The development is currently served by an eight (8) inch diameter sanitary sewer main on the southwest portion of the property.

 - Reference the sanitary sewer easement for this sewer line on the plan.*
- **Street Access**

Access to the site will be from Weathered Rock Road.

 - Driveway widths will need to be changed to twenty-four (24) feet (maximum width for residential driveways).*
- **Sidewalk**

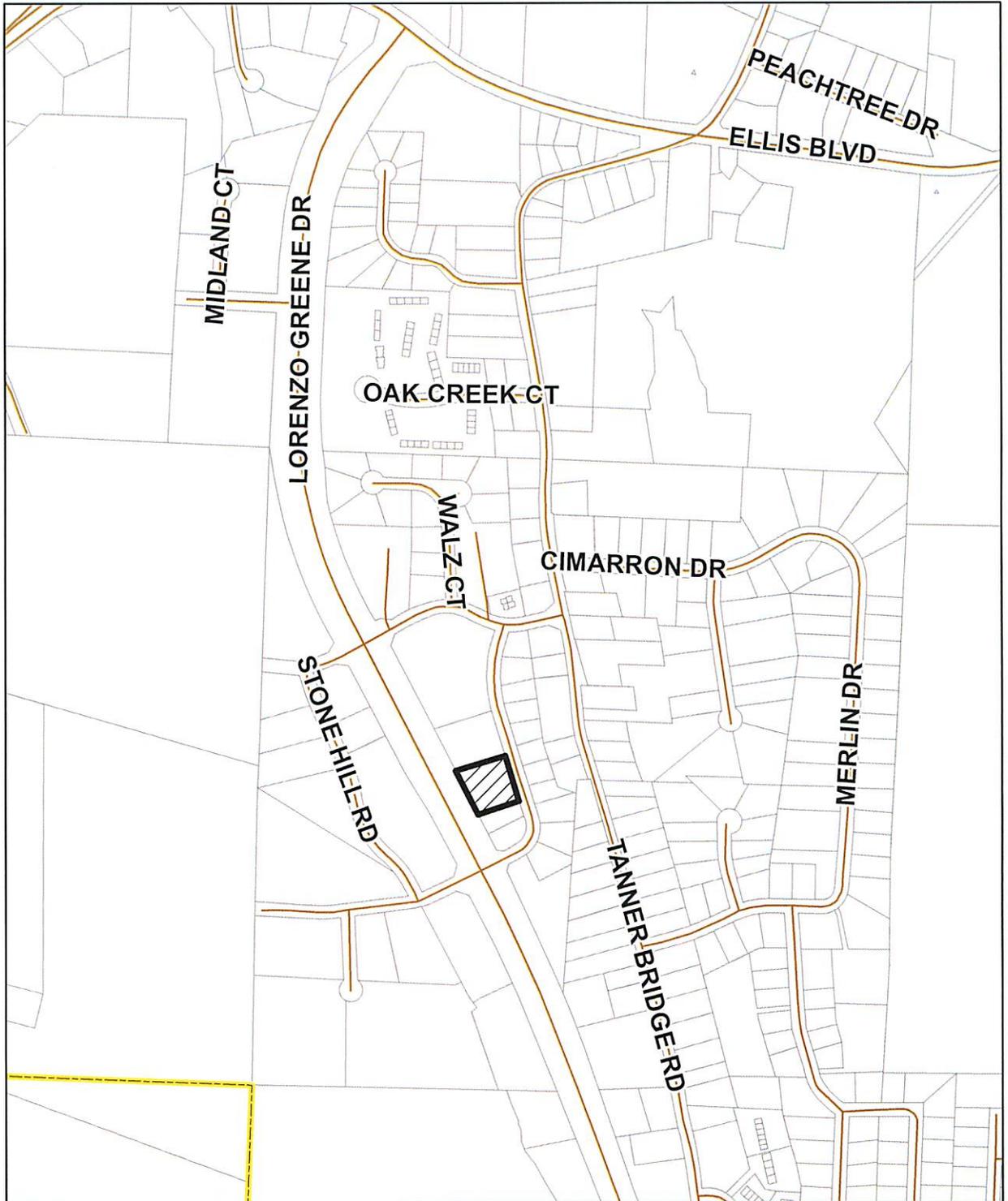
Sidewalk is not required for the project.
- **Utilities**

Facilities exist in the vicinity and to serve this development.
- **Site Technical Comments-**

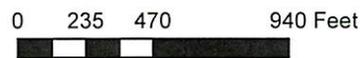
Add the signature lines for the Commission Chairman and the Director of Planning and Protective Services to the revised plan.

City of Jefferson Planning & Zoning Commission

VICINITY

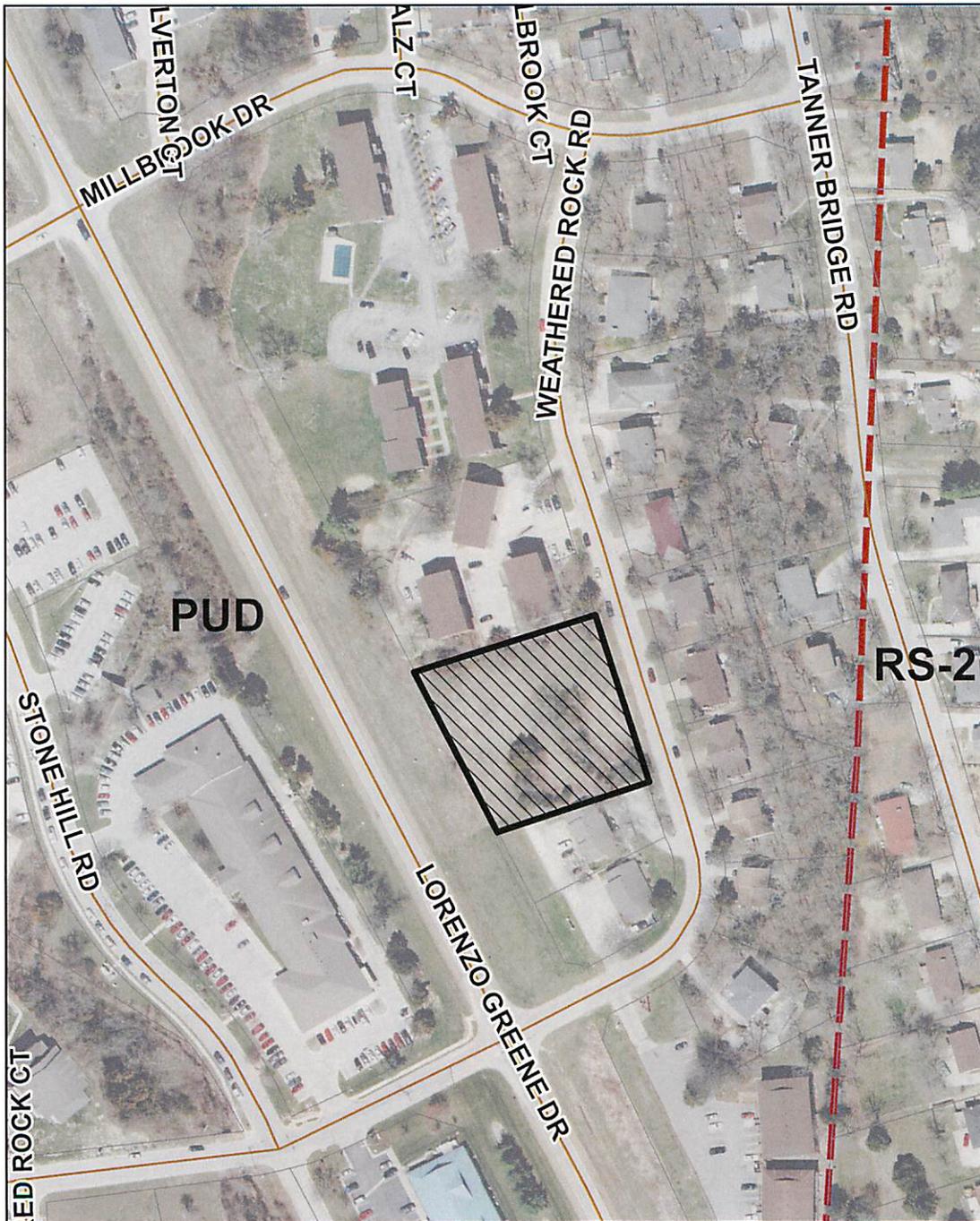


Case No. P16015
2220 Weathered Rock Rd.
Preliminary PUD Plan for
two residential tri-plexes

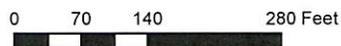


City of Jefferson Planning & Zoning Commission

LOCATION MAP



Case No. P16015
2220 Weathered Rock Rd.
Preliminary PUD Plan for
two residential tri-plexes





City of Jefferson
 Department of Planning & Protective Services
 320 E. McCarty Street
 Jefferson City, MO 65101
 Phone: 573-634-6410
jcplanning@jeffersoncitymo.gov

APPLICATION FOR PLANNED UNIT DEVELOPMENT (PUD)

- Concept PUD Plan
- Preliminary PUD Plan
- Final PUD Plan
- Amendment to Final PUD Plan
- Amendment to Final PUD Plan for Signage

PUD Project Name: Twenty Seven Properties
 Street Address: 2220 Weathered Rock Road, Jefferson City, MO
 Legal Description (as follows or is attached): _____

Please attach or include the following:

- (a) Typed project narrative describing the type and character of the development, including land uses, acreage, proposed residential densities or commercial floor area (FAR); public or private open space, amenities or recreation areas to be provided; sidewalks and pedestrian ways; parking areas; deviations from minimum design standards of Section 35-51; and other information required by Section 35-74 or applicable sections of the Zoning Code. The project title and location must be included upon every page. Number all pages and attachments.
- (b) Site Plan and/or Development Plan, as applicable.
- (c) Preliminary or Final Subdivision Plat or Declaration of Condominium Association, as applicable;
- (d) Draft of Covenants, Conditions and Restrictions, as applicable;
- (e) Traffic impact analysis, if required by Section 35-60;
- (f) Signage Plan, including type, locations and dimensions of all proposed signs;
- (g) Landscaping and Screening Plan;
- (h) Lighting Plan, including pole heights, type of fixtures or luminaries, and foot candles;
- (i) Project Phasing Plan (if applicable)
- (j) Application Filing Fee \$210.00 plus \$20 per acre (Revised June 30, 2015)

Application Information:

Property Owner: Twenty Seven Properties LLC
 Address: 5404 Aberdeen Way, Jefferson City, MO 65101
 Phone Number(s): 573-694-3312

Applicant Name (if different from owner): Chris & Sandy Hentges
 Address: 5404 Aberdeen Way, Jefferson City, MO 65101
 Phone Number(s): 573-694-3312

Consultant Name: Central MO Professional Services
 Address: 2500 E. McCarty Street, Jefferson City, MO 65101
 Phone Number(s): 573-634-3455

The attached information accurately represents this proposed project.

Chris Hentges
 Property Owner Signature

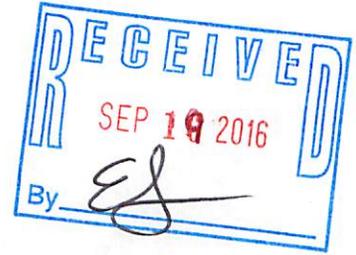
Chris Hentges 8/8/2016
 Printed Name Date

 Consultant Signature

 Printed Name Date

For Staff Use Only:
 Application Filing Fee Received: _____ Amount _____ Check # _____)
 Attachments: _____ Narrative _____ Site Plan _____ Applicant/Project Information Sheet
 Note other information submitted: _____

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.



September 12, 2016

City of Jefferson
Department of Planning and Protective Services
320 E. McCarty Street
Jefferson City, MO 65101

The following is a narrative of Twenty Seven Properties' proposed development of the property located at 2220 Weathered Rock Road, Jefferson City, MO.

The existing property consists of an undeveloped lot of approximately one acre sitting on the southwest side of Weathered Rock Road.

We intend to build two 3 bedroom triplexes on the lot, each consisting of two apartments on the upper level and one apartment on the lower level. The two upper level apartments will have a garage with access from Weathered Rock Road. The lower level unit will have a separate drive and parking area. The site will require some imported fill.

The existing neighborhood consists of apartment complexes and duplexes.

Attached is a preliminary site plan showing the location of the triplexes and proposed grades.

Respectfully Submitted


Chris Hentges
Twenty Seven Properties

City of Jefferson

Department of Planning & Protective Services
320 E. McCarty St.
Jefferson City, MO 65101



Carrie Tergin, Mayor

Janice McMillan, AICP, Director
Phone: 573-634-6410
Fax: 573-634-6457

September 28, 2016

Dear Property Owner:

This letter is to notify you that the Jefferson City Planning and Zoning Commission will meet at 5:15 p.m. on Thursday, October 13, 2016 in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street, to consider the following matter (see map on back):

Case No. P16015 – 2220 Weathered Rock Road – Preliminary PUD Plan. Request filed by Twenty Seven Properties LLC, property owner, for a Preliminary PUD Plan to construct two residential triplexes on 0.96 acres. The property is located on the west side of Weathered Rock Road 650 feet south of Millbrook Drive and is described as Part of Tract B of Millbrook Subdivision, Jefferson City, Missouri (Central Missouri Professional Services, Consultant).

As a nearby landowner and/or neighbor, you have the privilege of attending this hearing. Unfortunately, we are unable to record comments received by telephone, however, written comments may be directed to the Planning and Zoning Commission in one of the following ways:

e-mail: jcplanning@jeffcitymo.org
fax: Dept. of Planning and Protective Services / Planning Division 573-634-6457
mail: Dept. of Planning and Protective Services / Planning Division
John G. Christy Municipal Building, 320 E. McCarty Street Jefferson City, MO 65101

Written comments received on or before 1:00 p.m. on the day of the meeting will be made a part of the official record and copied and distributed to Commission members at the meeting. Those unable to provide written comments in advance are invited to deliver their comments to the Commission Chairman only at the meeting. Correspondence received after 1:00 p.m. will be included in the official record, but there is no guarantee that copies will be made for distribution to all Commission members.

For your information, this case is tentatively scheduled for a public hearing in front of the City Council on November 21, 2016. The City Council meets at 6:00 p.m. in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street.

Information regarding this case may be viewed on the Planning and Zoning Commission webpage at: www.jeffersoncitymo.gov.

If you have any questions concerning this matter, please feel free to contact us at 573.634.6475.

Sincerely,

A handwritten signature in blue ink that reads "Eric Barron".

Eric Barron, AICP
Senior Planner

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Please call (573) 634-6410 with questions regarding agenda items.

JEFFERSON STREET COMMERCE PARK L L C
604 MISSOURI BLVD CT, #D
JEFFERSON CITY, MO 65109
905 WEATHERED ROCK RD, #D

WILSON, MARVIN
2204 TANNER BRIDGE RD
JEFFERSON CITY, MO 65101
2204 TANNER BRIDGE RD

VIERTEL, JOHN F & JANE K
2200 TANNER BRIDGE RD
JEFFERSON CITY, MO 65101
2200 TANNER BRIDGE RD

COOPER, ROYAL O & ANNA MARIA E
2138 TANNER BRIDGE RD
JEFFERSON CITY, MO 65101
2138 TANNER BRIDGE RD

SCHULTE, JAMES E & JANELLE FISCHER
TRUSTEES
4073 COUNTY RD 452
NEW BLOOMFIELD, MO 65063
2207 WEATHERED ROCK RD

LUEBBERING, ARTHUR L
2209 WEATHERED ROCK RD
JEFFERSON CITY, MO 65101
2209 WEATHERED ROCK RD

TURNER, LISA
1037 S COUNTRY CLUB DR
JEFFERSON CITY, MO 65109
2211 WEATHERED ROCK RD

BEXTEN, GREGG A & MOLLY A
4921 GLOVERS FORD RD
JEFFERSON CITY, MO 65101
2213 WEATHERED ROCK RD

BEXTEN, CHARLES J & NORMA J
BEXTEN, GREGG A & MOLLY A, TRUSTEES
4921 GLOVERS FORD RD
JEFFERSON CITY, MO 65101
2215 WEATHERED ROCK RD

LINSENBARDT, L DAVID & MARY KAY, TRUSTEES
2077 HONEYSUCKLE LN
JEFFERSON CITY, MO 65109
2217 WEATHERED ROCK RD
2219 WEATHERED ROCK RD

EDWARDS, DEANNA R
2221 WEATHERED ROCK RD
JEFFERSON CITY, MO 65101
2221 WEATHERED ROCK RD

CEDARBROOKE L L C
PO BOX 104271
JEFFERSON CITY, MO 65110
2225 WEATHERED ROCK RD

G N R RENTAL PROPERTIES L L C
3520 ROCK RIDGE RD
JEFFERSON CITY, MO 65109
2224 WEATHERED ROCK RD
2222 WEATHERED ROCK RD

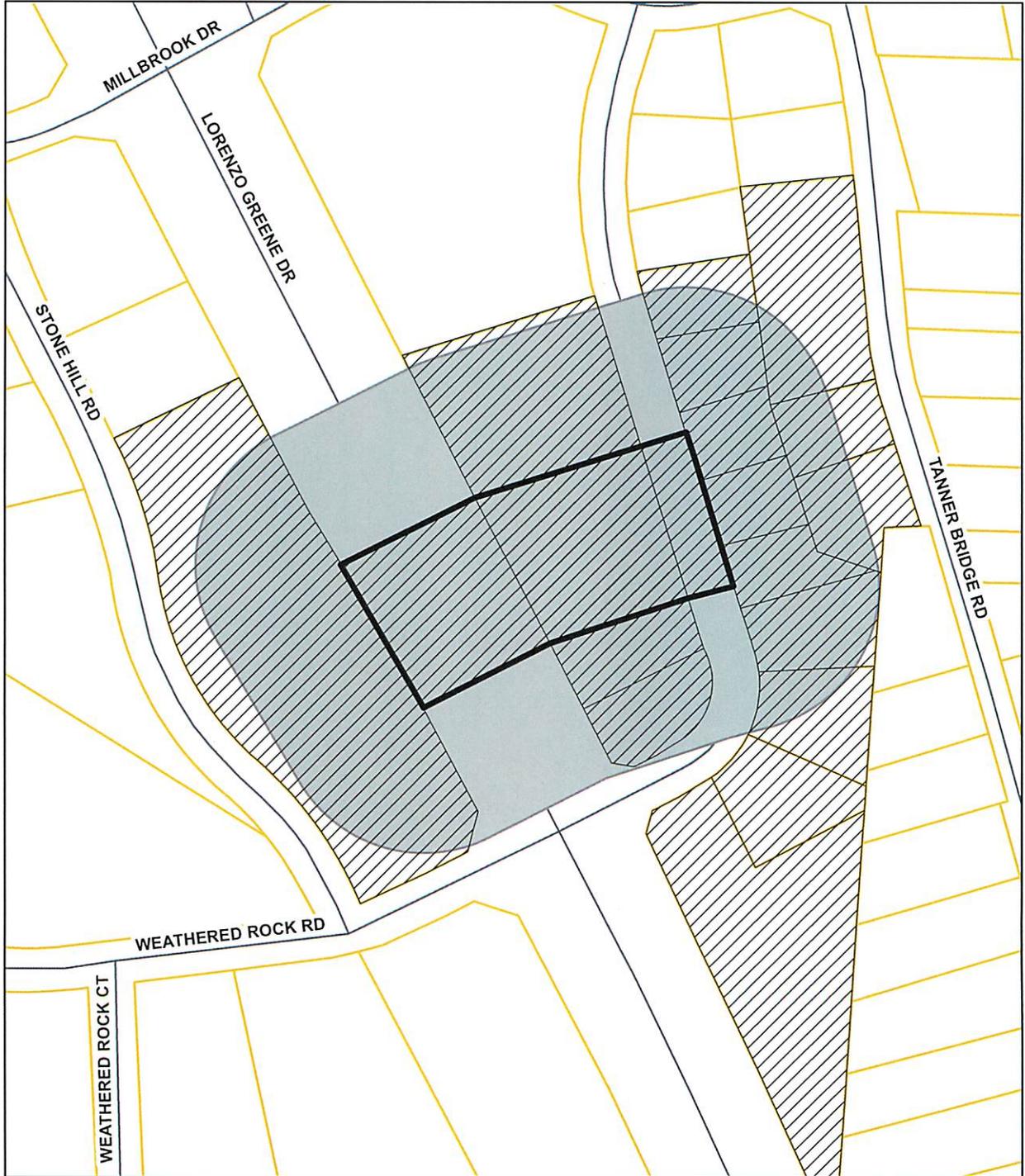
TWENTY SEVEN PROPERTIES L L C
5404 ABERDEEN WAY
JEFFERSON CITY, MO 65101
2220 WEATHERED ROCK RD (*Subject Property*)

FRIENDSHIP LEASING L L C
PO BOX 84
MCGIRK, MO 65055
2212 WEATHERED ROCK RD

Case No. P16015
2220 Weathered Rock Rd.
Preliminary PUD Plan for
two residential tri-plexes



185 ft. Notification Buffer



Jefferson City
Planning & Zoning Commission

October 13, 2016

**Case No. P16016
MERS Goodwill
2821 S Ten Mile Drive**

**Final Subdivision Plat
MERS Goodwill**

PLANNING STAFF REPORT
JEFFERSON CITY PLANNING AND ZONING COMMISSION
October 13, 2016

Case No. P16016 – 2821 S. Ten Mile Drive – Final Subdivision Plat. Request filed by MERS Goodwill for a Final Subdivision Plat on property zoned C-1 Neighborhood Commercial consisting of 1.65 acres and one lot. The purpose of the request is to consolidate three separate property tracts into a single lot. The property is located on the South Side of South Ten Mile Drive 400 feet west of Stoneridge Parkway.

Nature of Request

This is a one lot subdivision filed for the purpose of consolidating three separate tracts into a single lot. The property is intended to be developed with a new 14,500 sf retail building.

Zoning History

A case involving the rezoning of a portion of the property from RD/C-O to C-1 was approved by the Planning and Zoning Commission in March of 2016.

Location

The property is located on the south side of South Ten Mile Drive 400 feet west of Stoneridge Parkway. Adjacent zoning and land use is as follows:

	Surrounding Zoning	Surrounding Uses
North	C-2/RS-1	Commercial Office Building and SF Home
South	C-O/RD	Stormwater Detention Basin
East	C-2	Drive Through Restaurant
West	RS-1	Single Family Residential Neighborhood

Staff Analysis

Final Subdivision Plat:

The Final plat details the property boundary of the subdivision and easements that would accommodate utility lines through the property.

Acreage: The total size of the subdivision is 1.65 acres

Number of Lots: One (1) lot is shown on the Subdivision Plat.

Lot Sizes: There are no minimum lot sizes or lot widths for the C-1 zoning of the property.

Streets: No new streets would be created by the subdivision plat.

Sidewalks: Sidewalks would be constructed as part of the pending development of the property.

Utilities: Utility access is existing. A sewer line realignment is planned for the site and would be accommodated by the new sewer line easement shown on the plat. The existing easement would be vacated at a later date after the new line is constructed and accepted by the City.

Form of Motion

Motion for approval of the proposed final plat with the following conditions:

1. Compliance with the comments and technical corrections of the Planning and Engineering Divisions.
2. Submittal of a signed plat document prior to introduction to the City Council.

**Jefferson City
Planning & Zoning Commission Meeting
Engineering Division Staff Report
Thursday, October 13, 2016, 5:15pm**

Item 7. – Other New Business

**Case No. P16016 – Final Subdivision Plat, Goodwill Consolidation Plat, 2821 South Ten Mile Drive
(C-1)**

ENGINEERING STAFF RECOMMENDATION- Engineering Staff supports approval of this request, *subject to final plat being revised to address technical comments below, prior to the plat being considered by the City Council.*

Existing Infrastructure/ Site Improvements

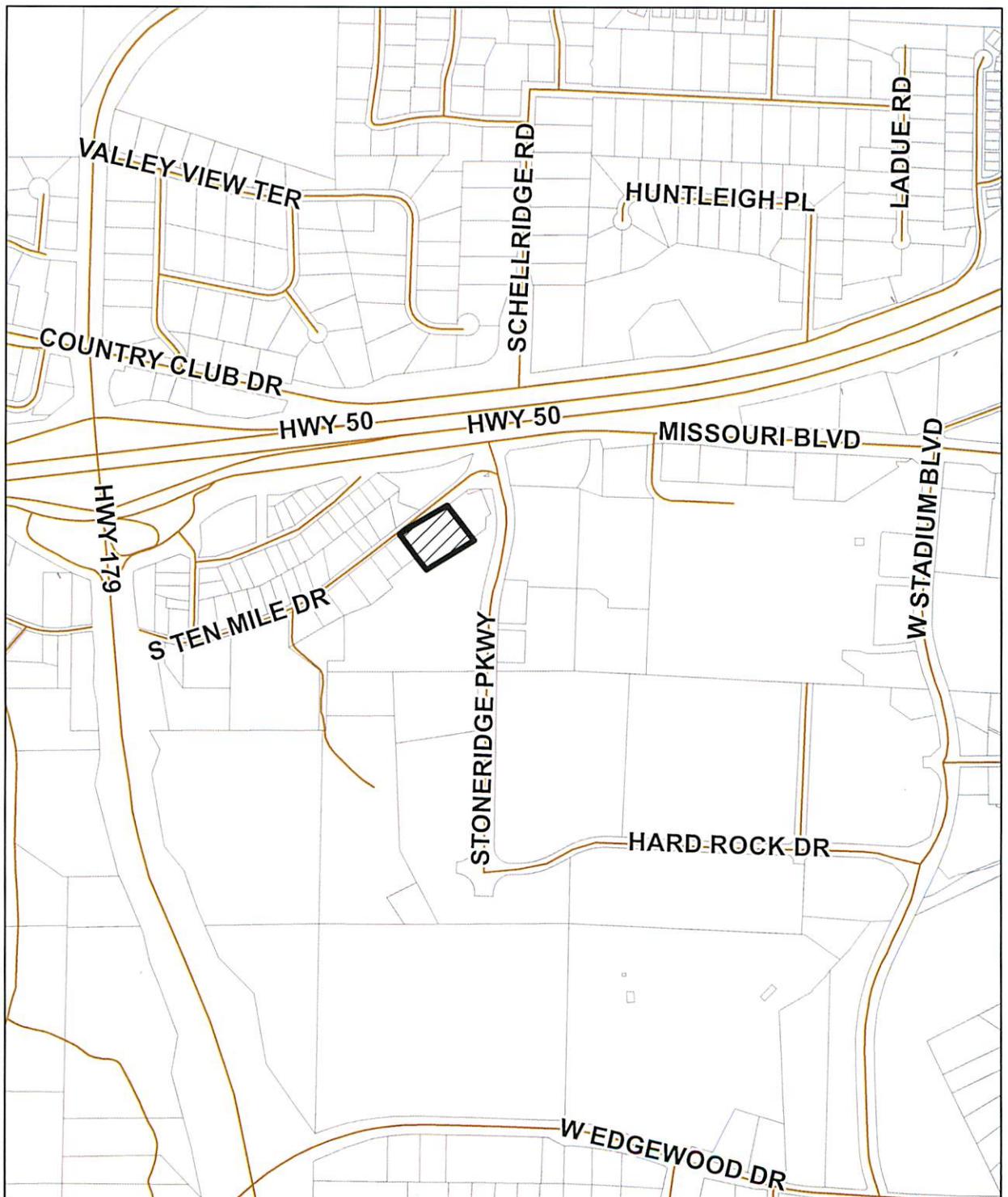
- The existing sanitary sewer is being relocated.
 - Improvements have previously been reviewed with the site plan submittal. Plans for sanitary sewer relocation should be in approvable form.
 - The existing sanitary sewer easement will need to be abandoned once the sewer has been relocated.
 - Sidewalk, access, utilities and other site requirements have been address with site plan submittal /review.
 - Plans for the site should be in approvable form.

Plat Technical Comments-

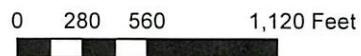
- *Adjacent zoning districts should be shown /referenced on the plat.*
- *Existing buildings on the property should be noted (even if to be removed).*
- *Label the new consolidated lot as “Lot A”.*
- *Add the recorder’s block information to the plat.*
- *Add the City approval block information to the plat.*
- *Reference/tie the survey description calls, lines and points to the parcels 1-3 (including books and pages) and the South Ten Mile Drive r/w in the property description.*
- *Reference the parcels 1-3 (including books and pages) in the caption of the survey description.*

City of Jefferson Planning & Zoning Commission

VICINITY



Case No. P16016
2821 S. Ten Mile Drive
Final Subdivision Plat

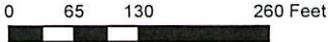


City of Jefferson Planning & Zoning Commission

LOCATION MAP



Case No. P16016
2821 S. Ten Mile Drive
Final Subdivision Plat





City of Jefferson
 Department of Planning & Protective Services
 320 E. McCarty Street
 Jefferson City, MO 65101
 Phone: 573-634-6410
icplanning@jeffcitymo.org
www.jeffersoncitymo.gov

APPLICATION FOR SUBDIVISION PLAT

The undersigned hereby petitions the Planning and Zoning Commission and City Council of the City of Jefferson, Missouri for the following type of subdivision: Preliminary Plat Final Plat

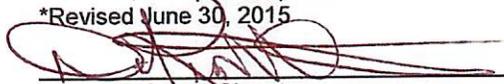
1. Name of Subdivision: Goodwill Consolidation Plat
2. General location: 2821 S. Ten Mile Dr.
3. Existing/Proposed zoning: C-1 Neighborhood Commercial District
4. Existing/Proposed use of the property: Commercial Development
5. Size of the property in acres: 1.651 acres
6. Total number of lots proposed: 1 Lot

7. The following items need to be submitted with the plat drawing, if applicable:
 A. Public improvement construction plans are to be submitted to the Engineering Division with a final plat. Signature of the Division Director, or his/her designee, is needed to certify that plans have been submitted:

 Signature Date (N/A if no plans are required)

B. Description of any variances to the Subdivision Regulations being requested (please note section number of the regulation below and attach a letter stating justification for the variance(s):

C. Appropriate application filing fee: \$ 244.00 Preliminary Plat - Residential-\$213* plus \$4 per lot
 Preliminary Plat - Commercial/Industrial-\$213* plus \$4 per lot
 Final Plat - \$240* plus \$4 per lot
 *Revised June 30, 2015

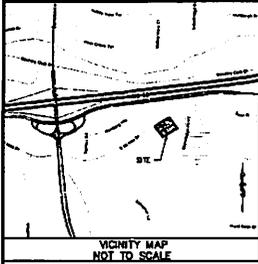
<u>MERS/Missouri Goodwill Industries</u> Property Owner Name (type or print)		<u>8/30/12</u> Date
<u>Cochran - Eric Kirchner P.E.</u> Engineer Name (type or print)		<u>9/8/16</u> Date
<u>Cochran - James R. Park Jr., PLS</u> Surveyor Name (type or print)		<u>9/8/16</u> Date

Contact person for this application:
 Name: Cochran
 Address: 8 East Main Street; Wentzville, MO 63385
 Phone Number: 636-332-4574

For Staff Use Only

- Attachments:
- Variance request letter
 - Additional documentation

Notes: _____
Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.



GOODWILL CONSOLIDATION PLAT

PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER,
SECTION 10, TOWNSHIP 44 NORTH, RANGE 12 WEST OF THE
FIFTH PRINCIPAL MERIDIAN, CITY OF JEFFERSON CITY, COLE COUNTY, MISSOURI

OWNER'S CERTIFICATE:

WE, THE UNDERSIGNED OWNER(S) OF THE TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S STATEMENT, HAVE CAUSED THE SAME TO BE SURVEYED AND COMPARED IN THE MANNER SHOWN ON THIS PLAT, WHICH SHALL HEREAFTER BE KNOWN AS "GOODWILL CONSOLIDATION PLAT".

THE ELECTRIC LINE EASEMENT LOCATED ALONG THE NORTHEAST PROPERTY LINE IS HEREBY DEDICATED TO AMHERST MISSOURI, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTEREST MAY APPEAR FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, REPAIRING, AND OPERATING SAID UTILITY.

THE 47' WIDE SANITARY SEWER EASEMENT LOCATED CROSSING THE SOUTHERN PORTION OF THE PROPERTY IS HEREBY DEDICATED TO THE CITY OF JEFFERSON CITY, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTEREST MAY APPEAR FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, REPAIRING, AND OPERATING SAID UTILITY.

THE BUILDING SETBACK LINES AND LANDSCAPE BUFFERS SHOWN ON THIS PLAT ARE HEREBY ESTABLISHED.

ALL LOTS OF "GOODWILL CONSOLIDATION PLAT", AS SHOWN HEREON, ARE SUBJECT TO THE COVENANTS AND RESTRICTIONS RECORDED IN AN INSTRUMENT FILED IN BOOK _____ PAGE _____ OF THE RECORDER OF DEEDS OFFICE, COLE COUNTY, MISSOURI.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ OF 2016.

MERS/MISSOURI GOODWILL INDUSTRIES, A MISSOURI NONPROFIT CORPORATION

BY: (SIGN NAME) _____
BY: (PRINT NAME) _____
TITLE: _____
DATE: _____

NOTARY FOR: MERS/MISSOURI GOODWILL INDUSTRIES, A MISSOURI NONPROFIT CORPORATION

STATE OF MISSOURI)
CITY OF ST. LOUIS) SS

ON THIS _____ DAY OF _____, 2016,
BEFORE ME APPEARED _____ WHO BEING BY ME
DULY SWORN, SO SAY THE VERDICT IS THAT _____ A CORPORATION FULLY
ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MISSOURI AND THAT THE
SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID
CORPORATION AND THAT THE SAID INSTRUMENT WAS READ AND SEALED ON BEHALF OF
SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THAT SAID
CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THAT SAID
CORPORATION _____ DECLARED SAID INSTRUMENT TO BE THE FREE ACT AND
DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL
SEAL ON THE DAY AND YEAR LAST ABOVE WRITTEN, IN THE STATE AND COUNTY FIRST
ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____
NOTARY PUBLIC: _____
PRINT NAME: _____

BOUNDARY DESCRIPTION:

A TRACT OF LAND BEING PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 44 NORTH, RANGE 12 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF JEFFERSON CITY, COLE COUNTY, MISSOURI AND BEING BETTER DESCRIBED AS FOLLOWS COMMENCING AT THE SOUTHWEST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10:

THENCE, ALONG THE QUARTER SECTION LINE, SOUTH 88 DEGREES 58 MINUTES 39 SECONDS WEST, A DISTANCE OF 851.55 FEET TO A POINT;

THENCE, DEPARTING SAID QUARTER SECTION LINE, NORTH 00 DEGREES 03 MINUTES 21 SECONDS WEST, A DISTANCE OF 808.91 FEET TO AN IRON ROD BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 37 DEGREES 58 MINUTES 44 SECONDS EAST, A DISTANCE OF 150.07 FEET TO A POINT;

THENCE, NORTH 37 DEGREES 58 MINUTES 44 SECONDS EAST, A DISTANCE OF 38.80 FEET TO A POINT;

THENCE, SOUTH 38 DEGREES 08 MINUTES 23 SECONDS EAST, A DISTANCE OF 3.00 FEET TO AN IRON ROD;

THENCE, SOUTH 58 DEGREES 50 MINUTES 50 SECONDS WEST, A DISTANCE OF 61.77 FEET TO AN IRON ROD;

THENCE, NORTH 58 DEGREES 50 MINUTES 50 SECONDS EAST, A DISTANCE OF 180.68 FEET TO AN IRON ROD;

THENCE, NORTH 51 DEGREES 53 MINUTES 08 SECONDS EAST, A DISTANCE OF 8.29 FEET TO A POINT;

THENCE, SOUTH 37 DEGREES 43 MINUTES 53 SECONDS EAST, A DISTANCE OF 245.74 FEET TO AN IRON ROD;

THENCE, SOUTH 89 DEGREES 34 MINUTES 43 SECONDS WEST, A DISTANCE OF 238.74 FEET TO AN IRON ROD;

THENCE, NORTH 37 DEGREES 58 MINUTES 44 SECONDS WEST, A DISTANCE OF 86.70 FEET BACK TO THE POINT OF BEGINNING AND THIS TRACT OF LAND CONTAINING 71.88 SQUARE FEET, OR 1.631 ACRES, MORE OR LESS.

SURVEY NOTES:

- SEARCHES ADOPED FOR MISSOURI BROWN 1883 STATE PLANE COORDINATE SYSTEM.
- THIS CONSOLIDATION PLAT, AS SHOWN HEREON, MEETS OR EXCEEDS THE MISSOURI URBAN STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND MEETS THE ACCURACY REQUIREMENTS FOR AN URBAN CLASS PROPERTY, AS DETERMINED HEREON.
- SOURCE OF RECORDS:
PARCEL 1 IS CURRENTLY VESTED IN THE NAME OF MERS/MISSOURI GOODWILL INDUSTRIES, A MISSOURI NONPROFIT CORPORATION PER DEED BOOK 865, PAGE 338 OF THE COLE COUNTY RECORDS.
PARCEL 2 IS CURRENTLY VESTED IN THE NAME OF MERS/MISSOURI GOODWILL INDUSTRIES, A MISSOURI NONPROFIT CORPORATION PER DEED BOOK 865, PAGE 333 OF THE COLE COUNTY RECORDS.
PARCEL 3 IS CURRENTLY VESTED IN THE NAME OF MERS/MISSOURI GOODWILL INDUSTRIES, A MISSOURI NONPROFIT CORPORATION PER DEED BOOK 868, PAGE 136 OF THE COLE COUNTY RECORDS.
- SURVEY INSTRUMENTS SHOWN HEREON ARE SURVEYED AND RECORDED, UNLESS OTHERWISE NOTED.
(R1) - DENOTES SURVEYED INFORMATION GATHERED BY COCHRAN DURING THE MONTH OF MARCH, 2016.
(R7) - DENOTES RECORD INFORMATION DERIVED FROM DEED BOOK 865, PAGE 333 OF THE COLE COUNTY RECORDS.
(R2) - DENOTES RECORD INFORMATION DERIVED FROM DEED BOOK 865, PAGE 333 OF THE COLE COUNTY RECORDS.
(R3) - DENOTES RECORD INFORMATION DERIVED FROM DEED BOOK 868, PAGE 136 OF THE COLE COUNTY RECORDS.
- SOURCE OF EASEMENTS: COCHRAN USES EXCLUSIVELY, TITLE COMMITMENTS ISSUED BY COLE COUNTY ABSTRACT & TITLE CO., AN AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NUMBERS B0915 AND B1814, WITH EFFECTIVE DATES OF 12/17/2015 AND COMMITMENT NUMBER B452, WITH AN EFFECTIVE DATE OF 1/23/2016. SCHEDULE B - SECTION 9, NO FURTHER EASEMENT RESEARCH WAS PERFORMED BY COCHRAN.
- THIS CONSOLIDATION PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY THE LAND SURVEYOR.
- FLOOD ZONES:
THIS SITE FALLS WITHIN FLOODING "ZONE Y", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM FLOOD INSURANCE RATE MAPS FOR COLE COUNTY, MISSOURI AND RECORPORATED AREAS. MAP NUMBER 250200202E, MAP REVISED ON NOVEMBER 8, 2015. FLOOD ZONES ARE DETERMINED BY SCALING.
- UTILITIES HAVE NOT BEEN SHOWN FOR THIS SURVEY. UTILITIES MAY EXIST. THE EXISTENCE OF WHICH IS PRESUMED NOT SHOWN. THE CONTRACTOR/OWNER SHALL VERIFY THE EXISTENCE OF WHICH IS PRESUMED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND/OR EXCAVATION FOR INFORMATION CONCERNING THE LOCATIONS OF UTILITIES, CONTACT MISSOURI ONE CALL 1-800-ONE-CALL.
- PROPERTY ZONE:
C-1 MIDDLEBROOK COMMERCIAL DISTRICT
- THE PURPOSE OF THIS CONSOLIDATION PLAT IS TO COMBINE THE THREE PARCELS INTO ONE PARCEL, BEING THE CONSOLIDATED LOT CONTAINING A TOTAL OF 71.88 SQUARE FEET OR 1.631 ACRES OF LAND, MORE OR LESS.
- SITE ADDRESS FOR IMPROVEMENT PLANS IS 2821 S. TEN MILE DR.
- THE PROFESSIONAL ENGINEER, BOUNDARY AND PERSONAL SEAL, APPEARS HEREON ASSUMES RESPONSIBILITY FOR WHAT APPEARS ON THIS PAGE AND DECLAINS (Pursuant to REBO 327.015) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, RELATIVE TO OR IN CONNECTION TO BE USED FOR ANY PART OF THE PROJECT TO WHICH THIS PAGE RELATES.

SURVEYOR'S STATEMENT:

THIS IS TO STATE THAT, AT THE REQUEST OF MERS/MISSOURI GOODWILL INDUSTRIES, COCHRAN HAS, DURING THE MONTH OF AUGUST, 2016, PREPARED A CONSOLIDATION PLAT TO BE KNOWN AS "GOODWILL CONSOLIDATION PLAT", BEING SITUATED IN PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 44 NORTH, RANGE 12 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF JEFFERSON CITY, COLE COUNTY, MISSOURI.

THE RESULTS OF SAID CONSOLIDATION PLAT ARE AS SHOWN HEREON AND DO MEET OR EXCEED THE CURRENT "MISSOURI URBAN STANDARDS FOR PROPERTY BOUNDARY SURVEYS".

W. ENGINEERING, LLC
(D.B.A. COCHRAN)
C3-300001940 0

FOR REVIEW

JAMES R. PAUL, JR., PLS. DATE
MISSOURI LB 00001940S
FOR COCHRAN

PREPARED FOR:
MERS/MISSOURI GOODWILL INDUSTRIES
1727 LOCUST STREET
ST. LOUIS, MO 63103

Case No. P16016
2821 S Ten Mile Drive
Final Subdivision Plat
MERS Goodwill



GOODWILL CONSOLIDATION PLAT
S. TEN MILE DR.
JEFFERSON CITY, COLE COUNTY, MISSOURI

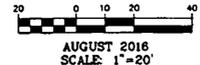
DATE	FILED	BY	REMARKS
AUG 26, 2016	LKD	JRP	
		NTS	
		M15-7155A	

1 OF 2

GOODWILL CONSOLIDATION PLAT

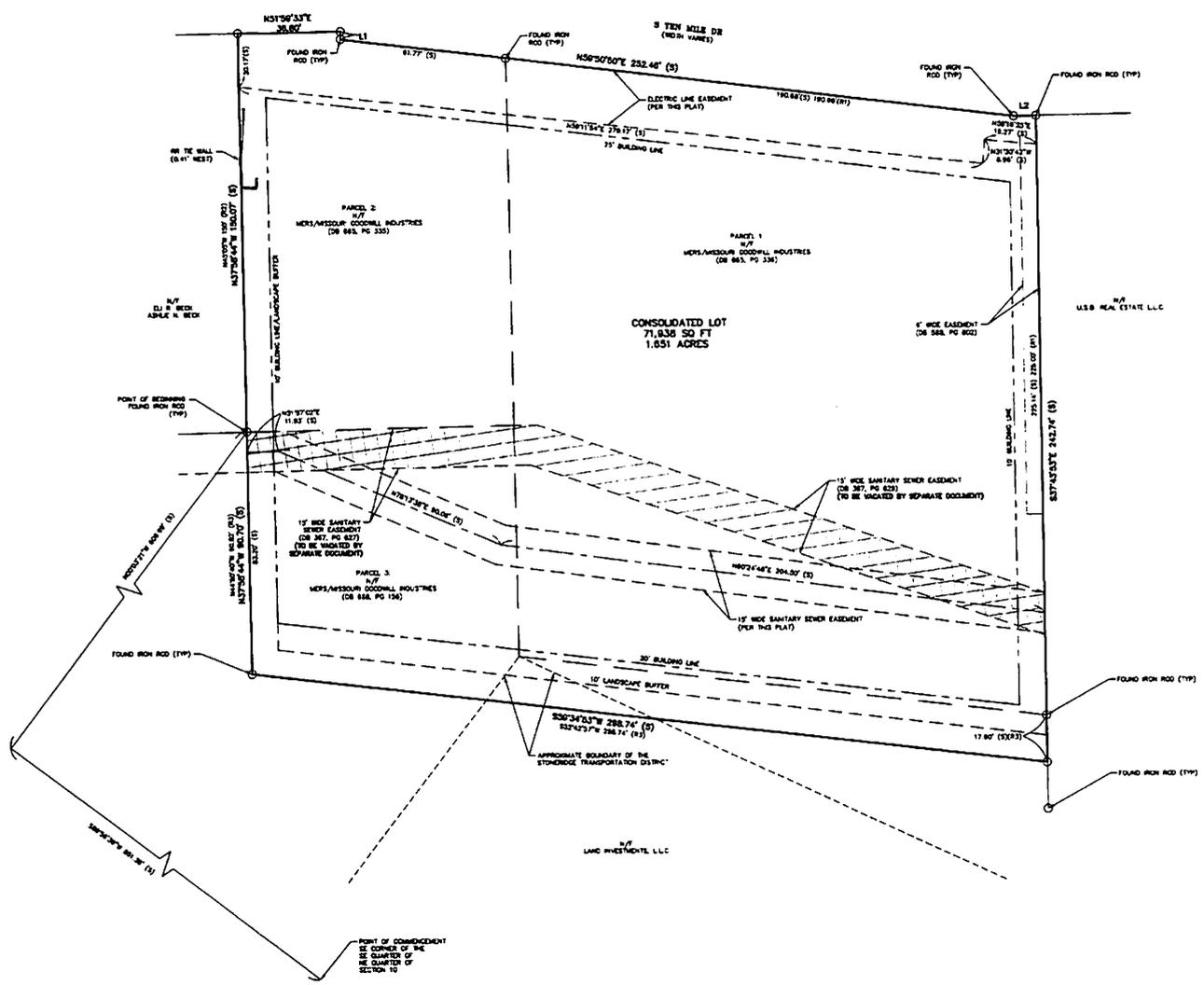
PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER,
SECTION 10, TOWNSHIP 44 NORTH, RANGE 12 WEST OF THE
FIFTH PRINCIPAL MERIDIAN, CITY OF JEFFERSON CITY, COLE COUNTY, MISSOURI

L1 S38°08'33"E 3.00' (S)
L2 N51°50'00"E 8.20' (S)
N52°57'33"E 8.20' (M1)



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CONSOLIDATED PROPERTY LINE	---
EASEMENT	---
FOUND IRON ROD	○
FOUND NAIL	⊕
EASEMENT TO BE VACATED BY SEPARATE DOCUMENT	---



M. ENGINEERING, LLC
C.S.A., C.C.O.#1040
LS 200001944 0

FOR REVIEW

JAMES G. FRANK, JR., PLS
MISSOURI LS 200044780
FOR COCKRAN



GOODWILL CONSOLIDATION PLAT
S. TEN MILE DR.
JEFFERSON CITY, COLE COUNTY, MISSOURI

DATE	BY	CHKD	APP
AUG 26, 2016			
SCALE: 1"=20'			
M15-7155A			
2 OF 2			

Case No. P16016
2821 S Ten Mile Drive
Final Subdivision Plat
MERS Goodwill