

Jefferson City
Planning & Zoning Commission

October 13, 2016

**Case No. P16013
CAC Real Estate
2005 Schotthill Woods Drive**

Preliminary PUD Plan Amendment

Landscaping: Parking lot landscaping consisting of 10 trees is shown on the PUD Plan. In addition to the landscaping to be installed during the redevelopment of the site, the neighboring property to the north (Jefferson Bank) has a row of ten trees along the property line that partially shades the subject parking lot.

Drive Through Lane: The drive through lane shown on the PUD Plan is located 14.8 feet from the eastern property line, which is less than the standard 20 feet setback for drive through lanes. The drive through lane is shown with an 11 feet width, higher than the minimum 8 feet width code requirement. Staff recommend that the drive through lane be shifted to adhere to the required 20 feet setback from the neighboring property.

Staff Recommendation

Staff recommend approval of the Preliminary PUD Plan Amendment. The proposed use of the property is similar to the existing restaurant with drive through lane, and is an appropriate land use considering the location of the property on Eastland Drive (classified as a minor arterial street) within a commercial subdivision. The new building is proposed to be constructed in the same location as the existing building.

Form of Motion

Motion for approval of the Preliminary PUD Plan Amendment with the following conditions:

1. An underlying zoning district of C-1 be established for the purpose of determining permitted uses with the addition of restaurant with drive through lane as a permitted use.
2. Signage shall adhere to the allowances of the C-1 zoning district with the exception that one pylon sign with a maximum height of 25 feet shall be permitted in the northwest corner of the site.
3. Adherence to the standard 20 feet setback for drive through lanes.
4. Compliance with comments and technical corrections of the Planning and Engineering divisions.

Jefferson City
Planning & Zoning Commission Meeting
Engineering Division Staff Report
Thursday, October 13, 2016, 5:15pm

Item 6. - New Business/Public Hearings

Case No. P16013 – Amended Preliminary Site Plan, Reconstruction/Rebuild of Restaurant, 2005 Schotthill Woods Drive (PUD)

ENGINEERING STAFF RECOMMENDATION- Engineering Staff supports approval of this request, *subject to preliminary plan being revised to address technical comments below.*

Existing Infrastructure

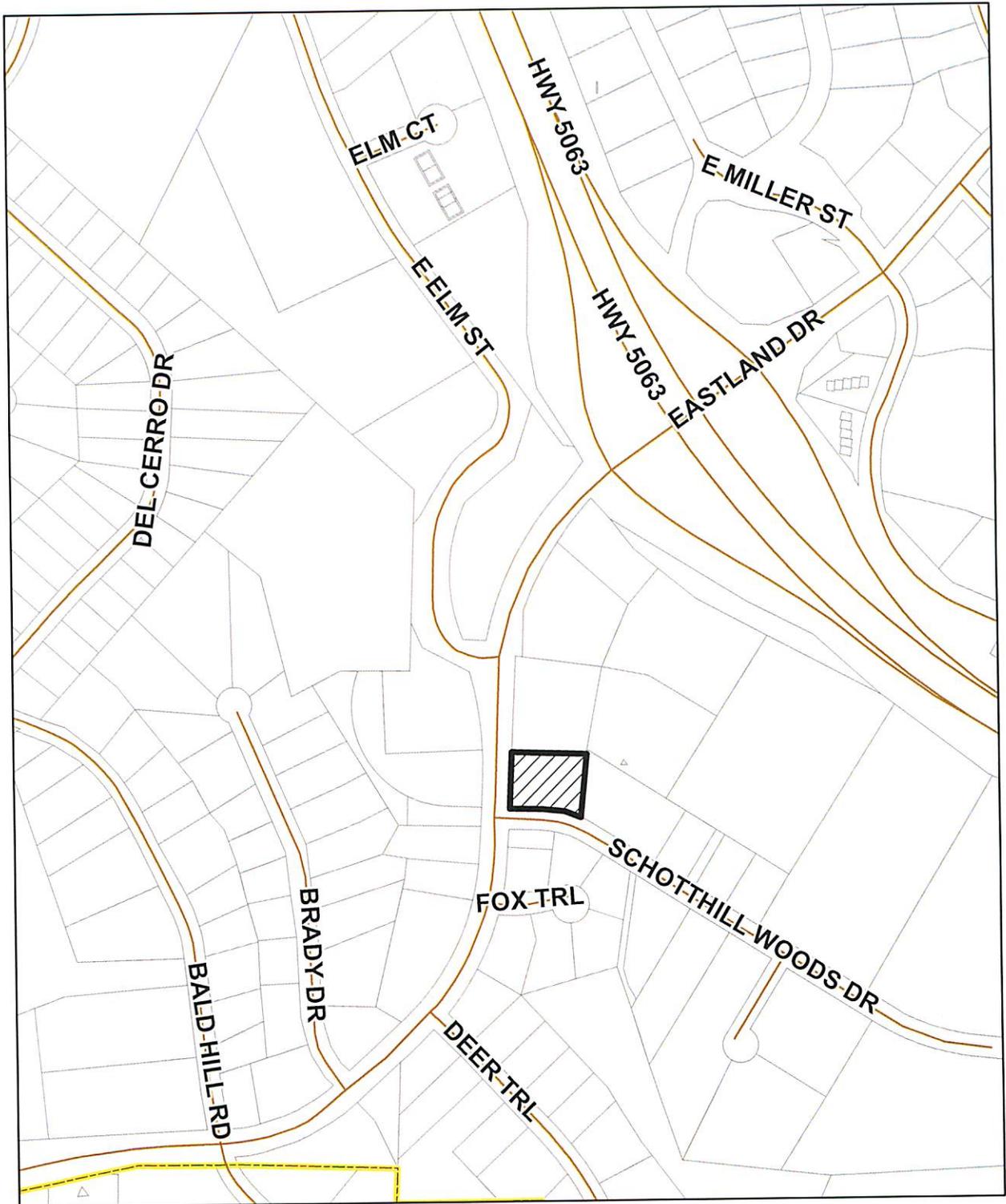
- Existing infrastructure serves this development.
 - An existing storm water drainage system traverses the property.
 - An eight (8) inch diameter sanitary sewer main serves the property.
 - Utilities exist to serve this property.
 - Some sidewalk does exist in the area.
 - Access to this site is from Schotthill Woods Drive.

Site Improvements

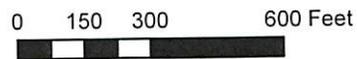
- **Storm Water Drainage/Quality**
Before and after impervious calculations will be needed to verify that there is no increase in impervious area from the site.
 - The pavement for the site is intended to be left in place, not disturbed.
 - Something may need to be done in regard to the proximity of the existing dumpster in relation to the existing storm water drainage inlet on the northeast corner of the site.
 - A covered dumpster enclosure or listed maintenance procedures may be needed to keep trash/debris from entering the storm drainage inlet. Please note this on the plans.*
 - Erosion and sediment control will be needed with the final plan.*
 - Show the existing storm water inlets in Eastland Drive along the west portion of the site.*
- **Sanitary Sewer**
The development is currently served by an eight (8) inch diameter sanitary sewer main that traverses the property.
- **Street Access/ Parking**
Access to the site will be as existing, from Schotthill Woods Drive.
 - Add a note to remove the existing parking striping shown along the eastern side of the site.*
- **Sidewalk**
Sidewalk is required and is shown for the project along both Eastland Drive and Schotthill Woods Drive.
- **Utilities**
Facilities exist in the vicinity and to serve this development.
- **Site Technical Comments-**
 - Change the reference to the C-1 zoning line along Schotthill Woods Drive to RS-2.*
 - Note the Schotthill Woods Drive r/w as 60'.*
 - The reference book and page of the property should be B-409 P-183.*
 - Note the location of the site on the Location Map.*
 - Check the drawing scale for accuracy, some dimensioning does not match the scale indicated.*

City of Jefferson Planning & Zoning Commission

VICINITY

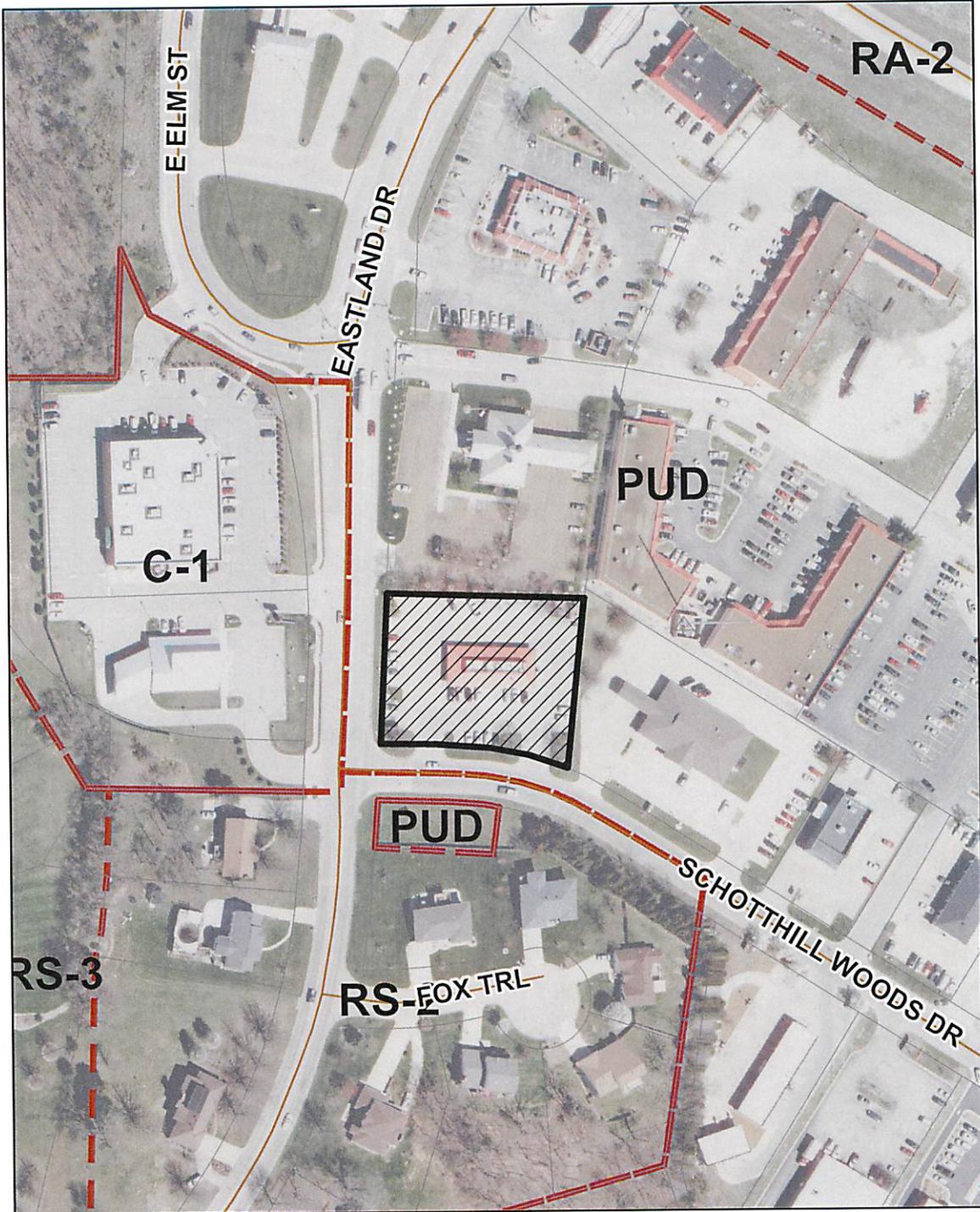


Case No. P16013
205 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant



City of Jefferson Planning & Zoning Commission

LOCATION MAP



Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant





City of Jefferson
Department of Planning & Protective Services
320 E. McCarty Street
Jefferson City, MO 65101
Phone: 573-634-6410
lcp@planning@jeffcitymo.org
www.jeffersoncitymo.gov

APPLICATION FOR PLANNED UNIT DEVELOPMENT (PUD)

- Concept PUD Plan
- Preliminary PUD Plan
- Final PUD Plan
- Amendment to Final PUD Plan
- Amendment to Final PUD Plan for Signage

PUD Project Name: Taco Bell
 Street Address: 2005 Scholthill Woods Dr.
 Legal Description (as follows or is attached): _____

Please attach or include the following:

- (a) Typed project narrative describing the type and character of the development, including land uses, acreage, proposed residential densities or commercial floor area (FAR); public or private open space, amenities or recreation areas to be provided; sidewalks and pedestrian ways; parking areas; deviations from minimum design standards of Section 35-51; and other information required by Section 35-74 or applicable sections of the Zoning Code. The project title and location must be included upon every page. Number all pages and attachments.
- (b) Site Plan and/or Development Plan, as applicable.
- (c) Preliminary or Final Subdivision Plat or Declaration of Condominium Association, as applicable;
- (d) Draft of Covenants, Conditions and Restrictions, as applicable;
- (e) Traffic Impact analysis, if required by Section 35-60;
- (f) Signage Plan, including type, locations and dimensions of all proposed signs;
- (g) Landscaping and Screening Plan;
- (h) Lighting Plan, including pole heights, type of fixtures or luminaries, and foot candles;
- (i) Project Phasing Plan (if applicable)
- (j) Application Filing Fee \$210.00 plus \$20 per acre (Revised June 30, 2015)

Application Information:

Property Owner: Chris McCrea / CAC REAL ESTATE L.L.P.
 Address 8102 N. Meridian Street, Indianapolis, Indiana 46260 5877 SW 29th TORONTO ON M2L 1R9
 Phone Number(s): 317-563-8446 785-273-1805

Applicant Name (if different from owner): _____
 Address _____
 Phone Number(s): _____

Consultant Name: Welthe Engineers
 Address: 10505 N. College Ave., Indianapolis, Indiana
 Phone Number(s): 317-848-6811

The attached information accurately represents this proposed project.

by C.A.C. REAL ESTATE, L.L.P.

 Property Owner Signature

 Consultant Signature

DAVID A. CURNUTT 9/12/2016
 Printed Name Date
Bill Terry 9/12/2016
 Printed Name Date

For Staff Use Only:
 Application Filing Fee Received: _____ Amount _____ Check # _____
 Attachments: _____ Narrative _____ Site Plan _____ Applicant/Project Information Sheet _____
 Note other information submitted: _____

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Amended Preliminary PUD Plan

ALTA/ACSM LAND TITLE SURVEY
 PART OF LOT 60, SCHOTTHILL WOODS SUBD., SEC. 2
 PB-11, P-324
 IN SW 1/4 NW 1/4 OF SEC. 21, T44N, R11W
 CITY OF JEFFERSON, COLE COUNTY, MISSOURI
 0.77 ACRES

BOUNDARY DESCRIPTION - BOOK 409, PAGE 183
 PART OF LOT NO. 60 OF SCHOTTHILL WOODS SUBDIVISION, SECTION 2, AS PER PLAT OF RECORD IN PLAT BOOK 11, PAGE 324, COLE COUNTY RECORDER'S OFFICE, IN THE CITY OF JEFFERSON, COLE COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT NO. 60, THENCE NORTH 04 DEGREES 47 MINUTES 28 SECONDS, WEST ALONG THE WESTERLY LINE OF SAID LOT NO. 60, 150.01 FEET TO THE SOUTHWESTERLY CORNER OF LOT NO. 59 OF SAID SCHOTTHILL WOODS SUBDIVISION, SECTION 2, THENCE NORTH 85 DEGREES 52 MINUTES 12 SECONDS EAST, 210.46 FEET, THENCE SOUTH 01 DEGREE 23 MINUTES 24 SECONDS EAST, 178.94 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID LOT NO. 60, THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT NO. 60, IN A CURVE TO THE LEFT, HAVING A RADIUS OF 122.90 FEET, AN ARC DISTANCE OF 112.57 FEET, THENCE SOUTH 85 DEGREES 52 MINUTES 12 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT NO. 60, 91.61 FEET TO THE BEGINNING POINT OF THIS DESCRIPTION.

SIGNAGE FOR THE PROPERTY SHALL ADHERE TO THE SIGNAGE ALLOWANCES AND REQUIREMENTS OF THE C-1 ZONING DISTRICT.

PARKING LOT LANDSCAPING SHALL MEET NORMAL ZONING CODE REQUIREMENTS AND WILL BE FINALIZED WITH THE FINAL PUD PLAN.

APPROXIMATE 1,248 SF OF TREES ON THE NORTH PROPERTY IS COVERING THE NORTHERN PARKING LOT OF THE TACO BELL.

LOT INFORMATION
 PROPERTY OWNER: MCGEE PROPERTY GROUP
 ENGINEER: WEIHE ENGINEERS
 LOT AREA: 0.77 ACRES
 ZONING: P-20
 PARCEL ID: 1105210002003016002
 EX. IMPERVIOUS AREA: 28,923 SF
 NEW IMPERVIOUS AREA: 27,854 SF
 NET LOSS: 2,299 SF
 PARKING AREA: 24,011 SF
 SHADED TREES N. PROP.: 1,248 SF
 SHADED AREA PROVIDED: 6,355 SF
 SHADED SHORT: 1,875 SF
 EXISTING TREES: 5
 PROPOSED TREES: 5

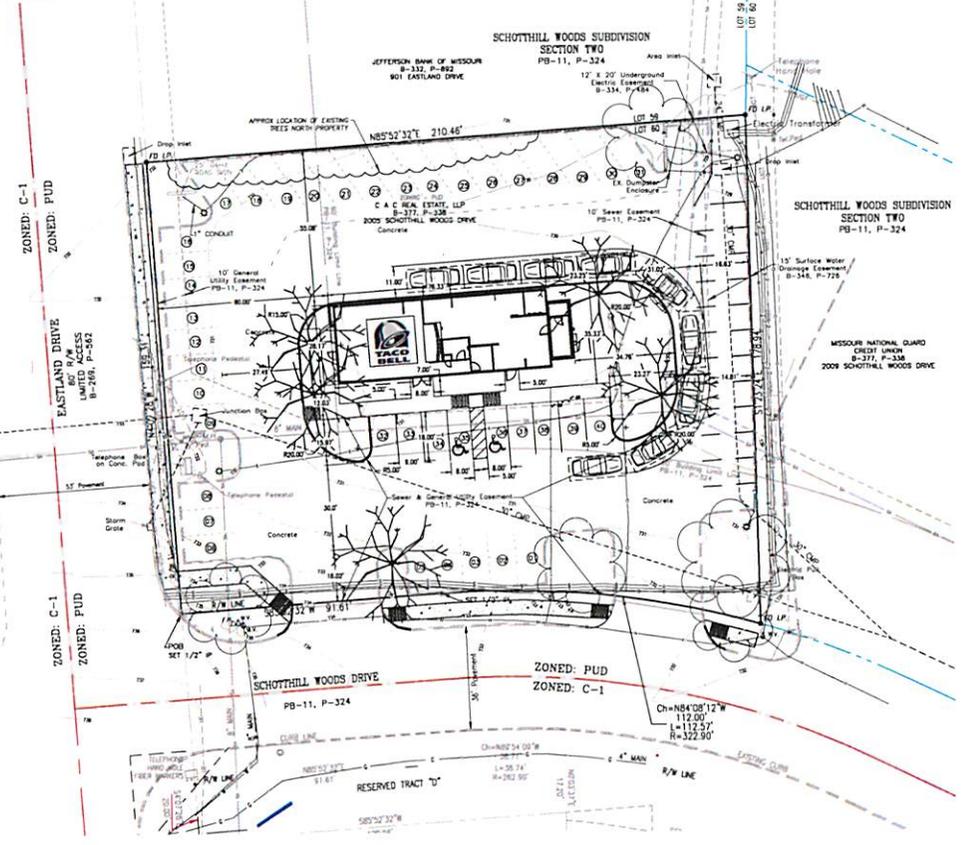
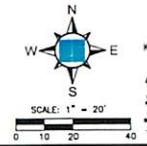
PARKING DATA
 BUILDING AREA: 2274 SF
 PARKING SPACES: 40
 PARKING RATIO: 1 PER 100 SF GFA
 REQUIRED PARKING: 23



PUD APPROVAL SIGNATURES:

COMMISSION CHAIRMAN _____ DATE _____
 DIRECTOR OF PLANNING AND PROTECTIVE SERVICES _____ DATE _____

- GENERAL NOTES:
- All work shall comply with the Jefferson City, Missouri Codes and Standards, Technical Specifications, and all other applicable requirements.
 - It is the contractor's responsibility to obtain all necessary permits associated with the installation, notify municipal and state agencies and utility companies having jurisdiction, and to coordinate all inspection required.
 - Contractor to be responsible for the protection of new and existing structures, vegetation, walkways, or improvements. No trees outside cuts and fills are to be removed without the approval of the Engineer. No fill is to be placed around existing trees. Damages resulting from construction activities are to be repaired by Contractor at no additional cost to Owner. Any damages shall be brought to the immediate attention of the Engineer.
 - All written dimensions, coordinates, bearings, and other written data govern. Prior to starting work all data is to be verified by the contractor.
 - Consult Engineer regarding proposed changes, relocation, or modifications prior to the start of work.
 - Locations of all existing topographical features are based upon a survey by Central Missouri Professional Services.
 - All exposed areas of disturbed earth are to be finish graded and seeded/soiled as per the requirements of a local nursery licensed by the State of Missouri.
 - Concrete footings for sign shall be a minimum of 5 ft. away from Sanitary Sewer Mains.
 - Permitted Uses: an underlying zoning district of C-1 Neighborhood Commercial is established for the purpose of determining permitted uses with the addition of drive through restaurant as a permitted use.



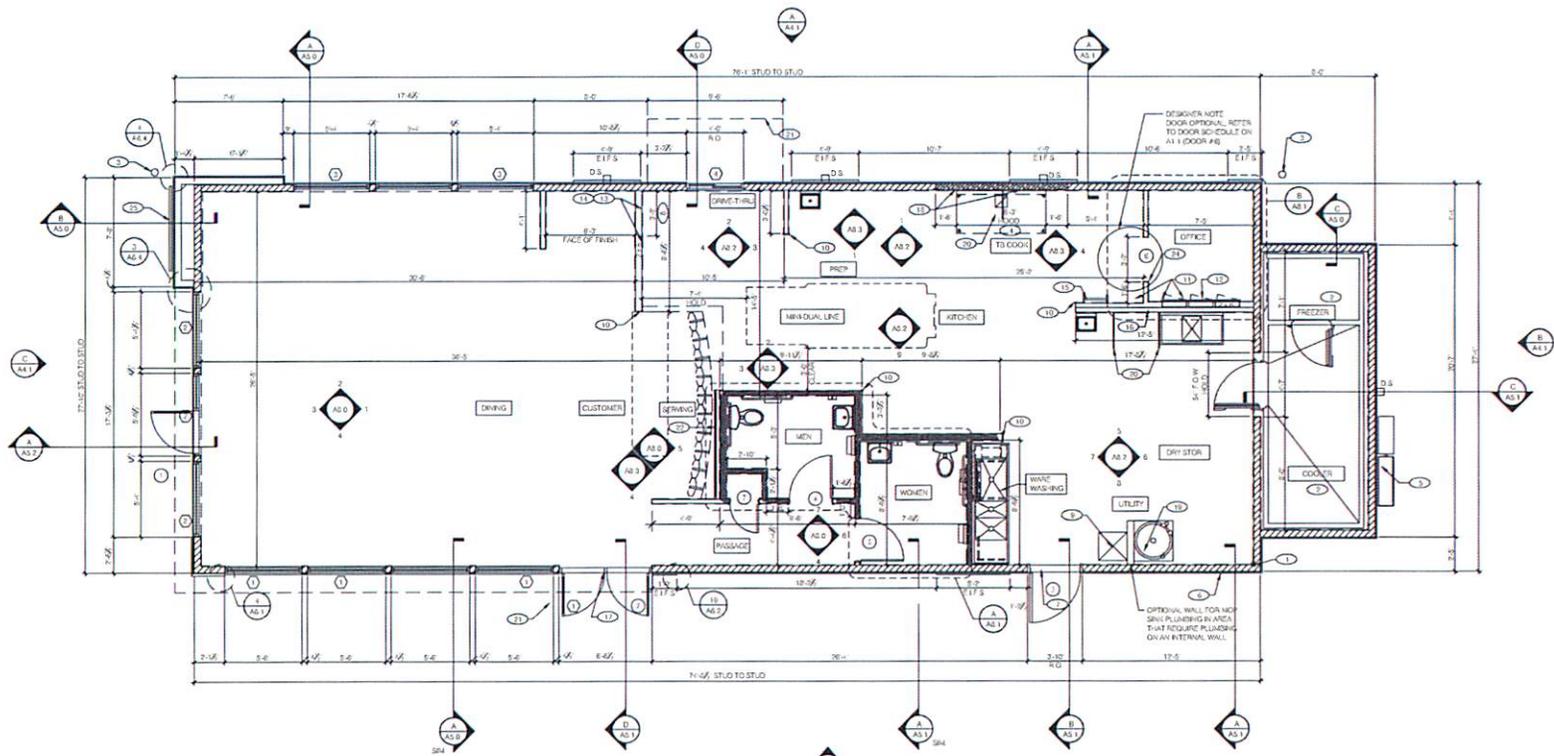
05005 N. College Avenue
 Indianapolis, Indiana 46240
 weihe.net
 317 | 846 - 4611
 800 | 452 - 6608
 317 | 843 - 0540/jaw
 ALANA WHITE, P.E., FOSDICK

WEIHE ENGINEERS
 Linda Starnes, P.E. (Civil Engineering)
 L. Whitaker, Architect (Architecture)
 WEIHE WITH PARTNERS

PROJECT NO.	161013
DATE	08/20/2014
SCALE	AS SHOWN
PROJECT	TACO BELL
LOCATION	2005 SCHOTTHILL WOODS DRIVE, JEFFERSON CITY, MO.
DATE	08/20/2014

PROJECT NO. 161013
 SHEET NO. 1
TACO BELL REBUILD
 2005 SCHOTTHILL WOODS DR., JEFFERSON CITY, MO.
PUD
 PROJECT NO. W16.0366

Case No. P16013
 2005 Schotthill Woods Drive
 Preliminary PUD Plan Amendment



FLOOR PLAN 1/4" = 1'-0" A

CONTRACT DATE	XXX-XXX-XX
BUILDING TYPE	EXP. LITE MED-LO
PLAN VERSION	MAY 3, 2016
SITE NUMBER	XXX-XXX
STORE NUMBER	XXXXXX

TACO BELL
 3054 SCOTTHILL WOODS PKWY
 JEFFERSON CITY, MO 64501



FLOOR PLAN
A1.0A

WALL LEGEND		E
	TYPICAL EXTERIOR WALL 2x4 WOOD STUDS AT 16" O.C. W/ 5/8" CAT-RING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KNAUF FACTO FIBERGLASS BATT INSULATION U-11.0. GC SHALL PROVIDE 2 LAYERS OF GRADE D 60 IS BUILDING PAPER.	
	TYPICAL EXTERIOR WALL 2x4 WOOD STUDS AT 16" O.C. (ENR OR 2x4 WHERE NOTED)	
	INTERIOR SOLID MASONRY WALL TYPICAL INTERIOR WALL W/ 3-1/4" UNFACED TECH-GLASS BATT INSULATION	
	WOOD-PANELED EXTERIOR WALL WITH 2x4 S.S. PANELS, 2x4 HOOD. EXTEND MIN. 12" BEYOND END OF HOOD. REFER TO DETAIL 504.0 FOR EXTENT OF S.S. PANEL.	
	DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION	
WALL SUBSTITUTES		
CEILING		
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HANG-U-T U.N. SEE 6.2 & 16/A8.3 (NOTE: THE GYPSUM BOARD SPECIFICATION IS DESIGNED TO ALLOW THE S.C. FLEXIBILITY.)		
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6" ABOVE CEILING HANG-U-T U.N. IF DOUBT, SCHED. 5/8" EAR WALL PLYWOOD IS SPECIFIED. 5/8" PLYWOOD SHALL BE CONTIGUOUS FROM SKEL. PLATE TO TOP PLATE. SEE C-11 & 10/1A.3.		
CEILING FINISHES		
5/8" GYPSUM WALLBOARD FROM FLOOR TO CONCRETE CURB TO 4" AT F. WITH 5/8" IMPACT BAND XP WALLBOARD. TYPE 3 CORN FROM TO CEILING BOARD TO 6" ABOVE CEILING HANG-U-T U.N. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 11 (S96, 17/A6.3)		
5/8" GYPSUM WALLBOARD FROM FLOOR TO CONCRETE CURB TO 4" AT F. WITH 1/2" GYPSUM WALLBOARD FROM FLOOR TO CEILING BOARD TO 6" ABOVE CEILING HANG-U-T U.N. FINISH AS SCHEDULED.		

FLOOR PLAN NOTES		D
OUTDOORING		
A. ALL EXTERIOR WORK IS TO FACE OF STUD W/D N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS		
B. DIMENSIONS NOTED AS CLEAR OR HOLD ARE MIN. REEED NET CLEARANCE FROM FACE OF WALL (MANAGED FINISH). VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FINISH.		
WINDOWS/DOORS		
A. SEE SCHEDULE FOR WINDOW TYPES AND DOOR SCHEDULE		
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO TROUGH OPENING		
C. SEE SCHEDULE FOR FINISHES		
D. SEE A1 FOR CEILING FINISHES		
FINISH SUBSTITUTES		
A. FINISHES FOR CEILING FINISHES TO BE 1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 12" AT F. MIN. IN LEU OF OPT. BE AT ALL WALLS EXCEPT BURNING SURFACES, U.O.N.		
B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR ACCESSIBLE SPACES SHALL BE SEALED W/ 1/2" INTERPOLYMER APPROVED SEALANTS		
C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.		
CEILING		
A. FINISHES AS FOR CEILING FINISHES AND DETAILS		
B. SEE A1 FOR FLOOR FINISHES		
C. SEE A8.3 - A8.3 FOR WALL FINISHES		
D. SEE A1 FOR CEILING FINISHES		
GENERAL		
A. PROVIDE THREE (3) FIRE EXTINGUISHERS: (2) 10 B, 10 C AND (1) 10 B, 10 C. TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHAL OR LOCAL AUTHORITY AGENT		
B. DIMENSIONS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS OR NON-BURNING METAL PARTITIONS, BALANCE AND PARTS IS ACCEPTABLE		
C. ALL ATTACHMENTS MADE THROUGH EIFS SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER PAGE 7		
D. ALL PENETRATIONS THROUGH EIFS SHALL BE SEALED USING MFRS APPROVED METHOD		

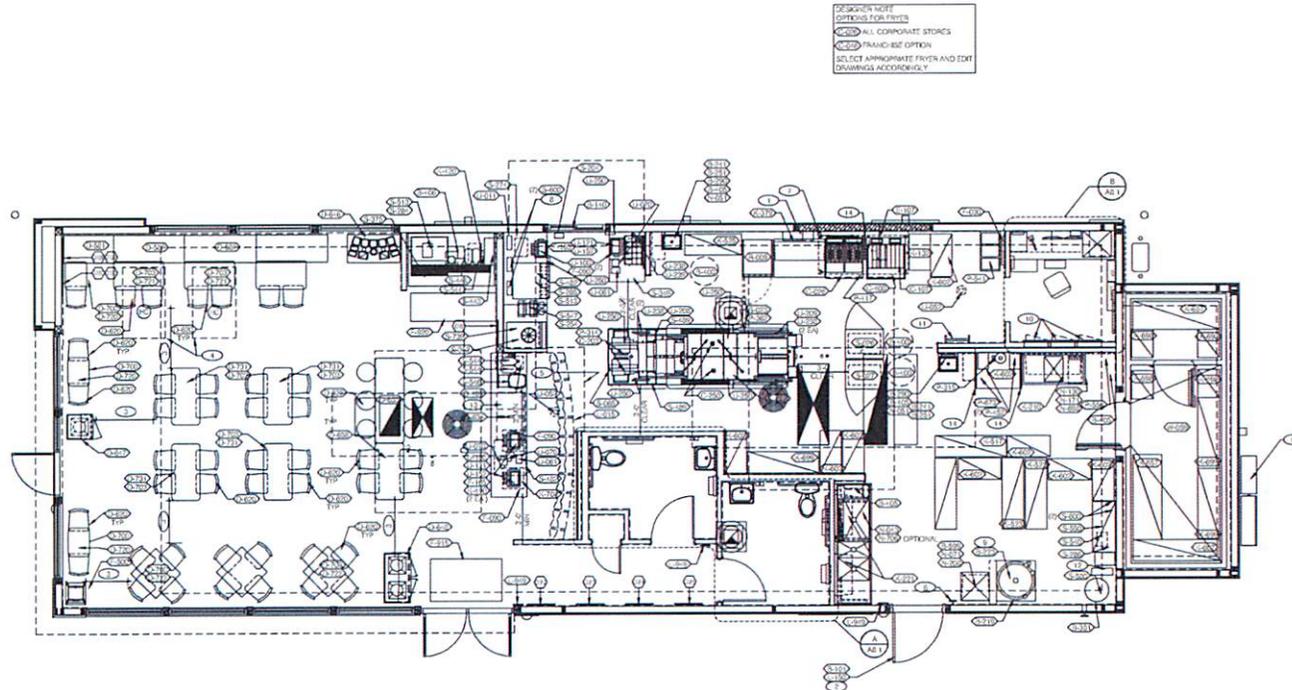
KEY NOTES		B
1. STARTING POINT: ALL SUB-FEATURES SHALL USE THIS POINT AS A BEGINNING LAYOUT		
2. NO FRP SO-BOARD (SEE) WALLS IN COOLERS/PANTRIES		
3. PIPES/SOLAR: SEE DETAIL 504.0		
4. HOOD WALL: SEE WALL LEGEND		
5. ELECTRICAL MAIN SWITCH BOARD: REFER TO ELECT. DWGS.		
6. CO2 FILL BOX LOCATION		
7. TILE TO METAL T-RES-HOLD		
8. NEED CLEAN FOR UTILITIES & STRIP LINES: SEE DETAIL 11 & 11/A6.1 FOR STUD LAYOUT REQUIREMENTS		
9. HOP SINK: REFER TO SCHEDULE A & A2.1		
10. S.S. CORNER GUARD (WALL CAP TYP.) TIP: ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN-SIDE OF THE SERVICE COUNTER. SEE DETAIL 11/A6.3		
11. ELECT. PANELS NEEDED IN RM WALL		
12. LIGHTING CONTROL PANEL SURFACE MOUNTED: REFER TO ELECT. DWGS.		
13. STRIP-LINE CHASE (W/DOOR): SEE DETAIL 11/A6.1		
14. 1/2" X 1/2" HORIZONTAL OPENING FOR STRIP FLICES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL, CHASE TO COUNTER. SEE 11/A6.1		

15. ROOF LADDER: SEE 11/A6.0
16. ADD SECOND EXM WALL ON KITCHEN SIDE
17. REMOVABLE ASTRAGAL FROM INSIDE ONLY
18. METAL STUDS REQUIRED PER LOCAL CODES
19. 1/2" GYPSUM WATER HEATER LOCATION
20. SPLASH GUARD: SEE DETAIL 504.3
21. NOT USED
22. LIG-ITED WALL: REFER TO DETAIL 504.0
23. NOT USED
24. CASTED OPENING: REFER TO DETAIL 504.1
25. UP-LIGHT FEATURE: REFER TO ELECT. DWGS.

**DESIGNER NOTE:
 VERIFY DETAIL**

DESIGNER NOTE:
 DOOR OPTIONAL: REFER TO DOOR SCHEDULE ON A1.1 (DOOR #8)

Case No. P16013
 2005 Scotthill Woods Drive
 Preliminary PUD Plan Amendment



DESIGNER NOTE
OPTIMUM FOR FINISH
COORD ALL EQUIPMENT STORES
FINISH BEST OPTION
SELECT APPROPRIATE FINISH AND EDIT DRAWINGS ACCORDINGLY

EQUIPMENT/SEATING PLAN 1/4" = 1'-0" A

SYM	QTY	ITEM	SYM	QTY	ITEM
C130	1	PINE PLANK SETTEE BOOTHS - 48"	C270	6	FREESTANDING BASE - 22" X 22" X 26 3/4" TALL
C131	2	PINE PLANK SETTEE BOOTHS - 60"	C271	4	FREESTANDING BASE - 22" X 5 1/2" X 26 3/4" TALL
C132	29	RETRO CHAIR - 18"	C272	4	TABLE TOP - 24" X 19"
C133	6	BARREL BARSTOOL - 29"	C273	2	TABLE TOP - 24" X 42"
C134	1	SERVICE COUNTER & POS STATION	C274	2	TABLE TOP - 30" X 30"
C135	1	CONDIMENT COUNTER - RECTANGLE	C275	2	TABLE TOP - 24" X 48"
C136	1	WASTE ENCLOSURE - SINGLE			
C137	1	WASTE ENCLOSURE - DOUBLE			
C138	1	WB HUB TABLE - 72"			
C139	1	WB HUB TABLE ADA - 48"			

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 40 INT, 12 EXT.) E

SYM	QTY	ITEM	REMARKS
C140	1	TABLE 22 1/2" X 19"	SEE AS IS FOR LOCATION
C141	1	LINEAR BELLS 36" X 10"	SEE AS IS FOR LOCATION
C142	1	CONCRETE 28 1/2" X 10"	SEE AS IS FOR LOCATION
C143	1	MASH UP 1 28 1/2" X 10"	SEE AS IS FOR LOCATION
C144	1	MASH UP 2 28 1/2" X 10"	OPTIONAL

ARTWORK SCHEDULE D

RECORDS
1 REFER TO SC 3-SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
2 (F) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
3 (C) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

STORAGE TYPE	LINEAR FT
DRY STORAGE	53
COLD STORAGE	35
FROZEN STORAGE	10

SHELVING QUANTITIES REQUIRED C2

- KEYNOTES B
- (1) 4000 PFC SUPPRESSION SYSTEM (MESH 8-160 OR COAL)
 - (2) SEE SHEET A-1 FOR SEGLARY DOOR PACKAGE
 - (3) MAINTAIN 36" MIN CLEAR ABLE EGRESS PATH-S TO EXIT DOORS
 - (4) 30" X 42" CLEAR FLOOR SPACE FOR HANDICAP ACCESS
 - (5) ALERT LIGHT BOX FOR 3-COUP POWER SOAK
 - (6) PULL STATION @ 3'-0" A-T-F
 - (7) GAS LINE DOWN TO EQUIPMENT
 - (8) COORDINATE LOCATION OF HORIZ PWC SYLUP CHASE T-HRU WALL TO COUNTER
 - (9) HIGH WATER HEATER PLATFORM
 - (10) SWITCHGEAR / ELECTRIC PANELS
 - (11) ROOF LADDER
 - (12) 2 LADDER
 - (13) SAFE
 - (14) SPLASH GUARD SET BINE 3

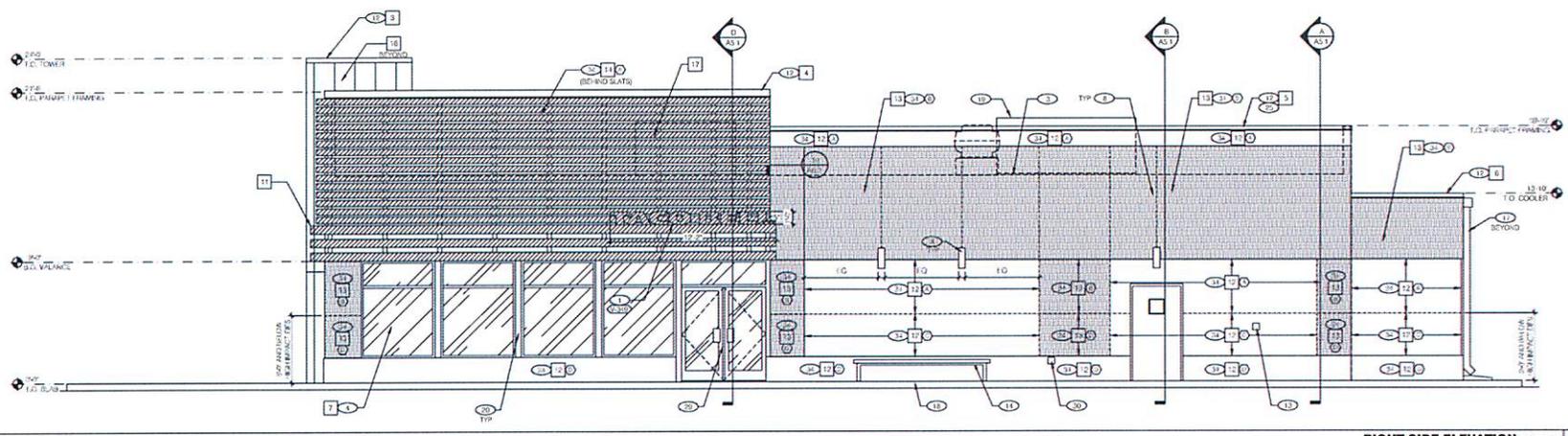
GENERAL NOTES C1

CONTRACT DATE XXXX.XX
BUILDING TYPE EXP LIFE MED-0
PLAN VERSION MAY 3, 2016
SITE NUMBER XXX-XXX
STORE NUMBER XXXXX

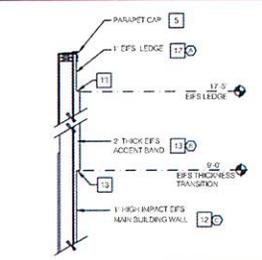
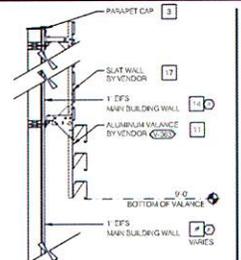
TACO BELL
3055 SCOTT-HILL WOODS ROAD
JEFFERSON CITY, MO 65101



EQUIPMENT AND SEATING PLAN
A2.0A



RIGHT SIDE ELEVATION 1/4" = 1'-0" A



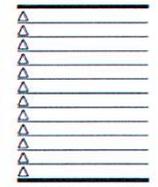
MISCELLANEOUS
 A. SUBMIT 3 WINDOW TYPES FOR WINDOW ELEVATIONS
EIFS (EIFS refers to SPICI)
 A. SEALANT IN ALL WALLS AND ROOF PENETRATIONS
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS
 C. APPLY NEOPRENE GASKET (JOINT) BETWEEN BUILDING & CANOPY
CRITICAL DIMENSIONS
 A. INCLUDE CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SLOTTING/BUILDING ELEMENTS DIMENSIONS
NOTE: NO EXTERIOR SIGNS ARE WITH IN THE SCOPE OF WORK COVERED BY THIS BUILDING PERMIT APPLICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

- ① BASE THICKNESS - 1 THICK EIFS
- ② BASE THICKNESS - 2 THICK EIFS
- ③ BASE THICKNESS - 1 THICK EIFS WITH HIGH IMPACT MESH (ONLY WHERE NOTED) SEE DETAIL 316.2
- ④ BASE THICKNESS - 2 THICK EIFS WITH HIGH IMPACT MESH (ONLY WHERE NOTED) SEE DETAIL 316.3

E.I.F.S. THICKNESS N.T.S. B

NOTE: SIGNAGE UNDER SEPARATE PERMIT

QTY	ITEM DESCRIPTION	ELEC
2	TACO BELL, SELL SIGN 6'x10' 1/2" Hx 4' 3/4" W	X
3	TACO BELL LETTERS 1/2" HIGH, WHITE, FLAT FACED	X



CONTRACT DATE: XXXX/XX/XX
 BUILDING TYPE: EXP. LITE AED-G
 PLAN VERSION: MAY 5, 2016
 SHEET NUMBER: 100A-000
 STORE NUMBER: XXXXX

TACO BELL
 1025 SCHOTT-HILL WOODS ROAD
 JEFFERSON CITY, MO 65101



EXTERIOR ELEVATIONS
A4.0A

SLAT WALL COLOR TRANSITION N.T.S. I		EIFS THICKNESS COLOR TRANSITION N.T.S. G		GENERAL NOTES F	
SCHEDULE	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	CAVOPY RATTEN SCAM PAINT	SHERWIN WILLIAMS	SW007 WOODSCAPES DUCK CALDER		
2	CAVOPY COLUMN PAINT	SHERWIN WILLIAMS	SW 7067 ROCK BOTTOM		
3	PARAPET CAP (TOWER)	DURALAST	MEDIUM GRAYTZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7089 IRON ORE
4	PARAPET CAP (ROOF)	DURALAST	SHERWIN WILLIAMS SW862 IMPULSE PURPLE EGG-HELL (P-1)		
5	PARAPET CAP COLOR	DURALAST	GALVALUME PLUS (FACTORY FINISH)		
6	PARAPET CAP (COLOR)	DURALAST	GALVALUME PLUS (FACTORY FINISH)		
7	STOREFRONT WINDOWS	TSD	CLEAR ANODIZED		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (B.S. POSTMAN COMB OR EQUAL)		
9	PARAPET CAP (ROOFING)	DURALAST	THE COLOR SHALL BE FACTORY COLORED TAY - EQUAL ALTERNATE ALLOWED		
10	AWNING PATIO ROOF, COOLER WALL	SPENCER	S-DECK PREWEATHERED GALVALUME		
11	VALANCE COLOR	SGH VENDOR	SW 7071 STATUS SPRONZE (EQUAL)		
12	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 7067 CITYSCAPE	LOTUSAN	NANB-011
13	ACCENT COLOR	SHERWIN WILLIAMS	SW 6018 PACER WHITE	LOTUSAN	NANB-010
14	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6021 CLEMATIS		
15	NOT USED				
16	METAL PANELS	WESTERN STATES METAL ROOFING	12 ANOD-FLUSTRAL PANELS		
17	SLAT WALL	SGH VENDOR	WOOD LIKE FINISH TSD BY VENDOR		

EXTERIOR FINISH SCHEDULE H

- NOT USED N.T.S. E**
- ① BUILDING SIGN BY VENDOR - REQUIRES ELECTRICAL - SEE ELECTRICAL PLANS
 - ② DRIVE THRU WINDOW - SEE SHEET A1.6 AND A1.1
 - ③ DASH-TO-LINE INDICATES ROOF BEYOND
 - ④ STOREFRONT, TYPICAL
 - ⑤ PLATE STEEL POST - SEE STRUCTURAL DWGS
 - ⑥ SWITCH GEAR - PAINT TO MATCH WALL
 - ⑦ NOT USED
 - ⑧ LIGHT SOURCE - ALONG BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH EPS INSULATION (CHANGE IF DIFF. THICKNESS)
 - ⑨ ASSUME DETAIL SURFACE IS @ BELOW THE FINISH FLOOR - REFER TO GRADING & SITE PLAN
 - ⑩ NOT USED
 - ⑪ TOWER WITH METAL PANEL FINISH
 - ⑫ PARAPET COPING IF DURALAST EDGE TRIM IS USED - USE THE DURALAST PRE-FINISHED EDGE TRIM - SEE DETAIL 316.0
 - ⑬ COOL THERM VALVE & COVER - SEE DETAIL 316.2 SH
 - ⑭ NOT USED
 - ⑮ GAS SERVICE
 - ⑯ WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCH GEAR

NOT USED N.T.S. E

- SIGN SCHEDULE N.T.S. C**
- ⑰ SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT & MIN. PAINT TO MATCH ADJACENT WALL
 - ⑱ CONCRETE CURBS
 - ⑳ RTU BEYOND - PAINT TO MATCH MAIN BUILDING COLOR
 - ㉑ BASKET METAL COVER OVER WOOD STUCCO TO MATCH STOREFRONT - SEE SIB 1
 - ㉒ OVERFLOW SCUPPER - SEE ROOF PLAN
 - ㉓ WOOD ANTTERS - SEE STRUCTURAL DWGS
 - ㉔ BOLLARD
 - ㉕ DURALAST SINGLE VENDORIAN ROOFING OR EQUAL
 - ㉖ IF THE DURALAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED
 - ㉗ WOOD HEATER DEAM - SEE STRUCTURAL DWGS
 - ㉘ PATIO WALL - SEE DETAIL 316.2
 - ㉙ CONTINUOUS LIGHT FIXTURE RUNNER ON PATIO WALL BY OTHERS
 - ㉚ STOREFRONT DOOR - REFER TO DOOR SCHEDULE
 - ㉛ HOSE BED LOCATION - REFER TO PLUMBING AND DETAIL 316.2
 - ㉜ GUTTER AND DOWNSPOUT PAINT TO MATCH COLUMN
 - ㉝ METAL AWNING - BY OTHERS
 - ㉞ NOT USED
 - ㉟ EIFS (EIFS) - SEE 2 & 16.2

KEY NOTES D

Case No. P16013
 2005 Schotthill Woods Drive
 Preliminary PUD Plan Amendment

TACO BELL
 2005 SCHOTTHILL WOODS RD.
 JEFFERSON CITY, MO
 PREPARED BY: JOHN BUJAKE
 ACCUSERV LIGHTING & EQUIPMENT
 877-707-7378
 502-961-0357 FAX
 jbjake@accu-serv.com
 SEPTEMBER 9, 2016

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.45	24.4	0.0	N.A.	N.A.
VEHICULAR SURFACE	2.49	6.6	0.6	4.15	11.00

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

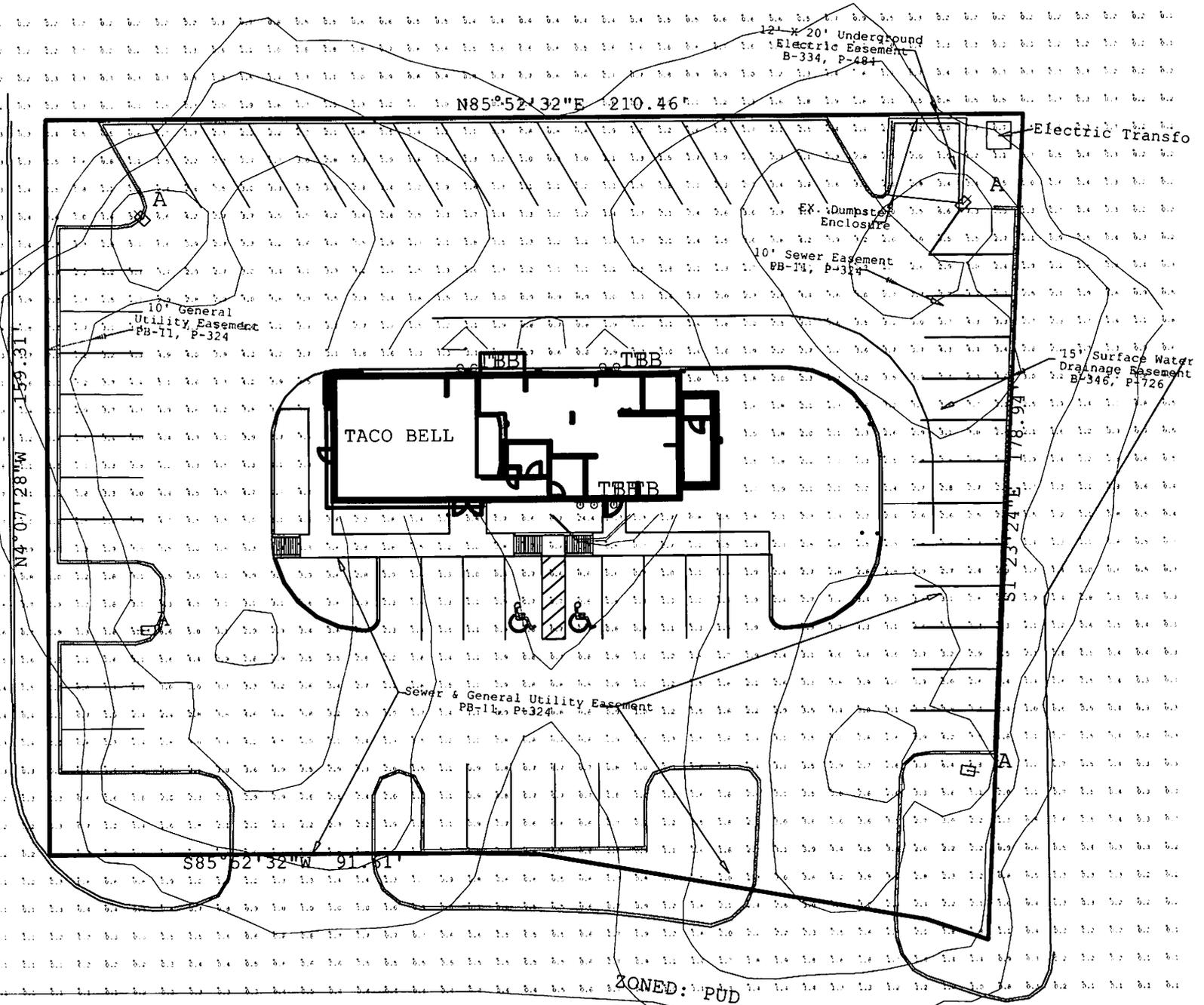
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
☐	4	A	SINGLE	29714	0.900	325	CL1-A-90L-U-4K-4-105-DB / SETA-DB / SSS-S-25-40-A-TA-S2-DB
⊖	7	TB	SINGLE	1219	0.900	26	ACCU 05247-051-052 @ 9.17' A.F.G.

ALL FIXTURES AND POLES ARE NEW
 SITE FIXTURES ARE 325W 4000K LED w/ FLAT LENSES
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan Amendment

ZONED: PUD

ZONED: PUD



ZONED: PUD
ZONED: C-1

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan Amendment

City of Jefferson

Department of Planning & Protective Services
320 E. McCarty St.
Jefferson City, MO 65101



Carrie Tergin, Mayor

Janice McMillan, AICP, Director
Phone: 573-634-6410
Fax: 573-634-6457

September 28, 2016

Dear Property Owner:

This letter is to notify you that the Jefferson City Planning and Zoning Commission will meet at 5:15 p.m. on Thursday, October 13, 2016 in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street, to consider the following matter (see map on back):

Case No. P16013 – 2005 Schotthill Woods Drive – Preliminary PUD Plan Amendment. Request filed by CAC Real Estate, property owner, Chris McCrea, applicant, for a Preliminary PUD Plan Amendment to demolish the existing restaurant on the property and construct a new 2,200 sf restaurant with drive through lane. The property is located on the northeast corner of Eastland Drive and Schotthill Woods Drive and is described as part of Lot 60 of Schotthill Woods Section 2, Jefferson City, Missouri (Weihe Engineers, Consultant).

As a nearby landowner and/or neighbor, you have the privilege of attending this hearing. Unfortunately, we are unable to record comments received by telephone, however, written comments may be directed to the Planning and Zoning Commission in one of the following ways:

e-mail: jcplanning@jeffcitymo.org

fax: Dept. of Planning and Protective Services / Planning Division 573-634-6457

mail: Dept. of Planning and Protective Services / Planning Division

John G. Christy Municipal Building, 320 E. McCarty Street Jefferson City, MO 65101

Written comments received on or before 1:00 p.m. on the day of the meeting will be made a part of the official record and copied and distributed to Commission members at the meeting. Those unable to provide written comments in advance are invited to deliver their comments to the Commission Chairman only at the meeting. Correspondence received after 1:00 p.m. will be included in the official record, but there is no guarantee that copies will be made for distribution to all Commission members.

For your information, this case is tentatively scheduled for a public hearing in front of the City Council on November 21, 2016. The City Council meets at 6:00 p.m. in the Council Chambers of the John G. Christy Municipal Building, 320 East McCarty Street.

Information regarding this case may be viewed on the Planning and Zoning Commission webpage at: www.jeffersoncitymo.gov.

If you have any questions concerning this matter, please feel free to contact us at 573.634.6475.

Sincerely,

A handwritten signature in blue ink that reads "Eric Barron".

Eric Barron, AICP
Senior Planner

Individuals should contact the ADA Coordinator at (573) 634-6570 to request accommodations or alternative formats as required under the Americans with Disabilities Act. Please allow three business days to process the request.

Please call (573) 634-6410 with questions regarding agenda items.

Property Owner List

Case No. P16013

2005 Schotthill Woods Drive

October 13, 2016

THREE FOUNTAINS L L C
ATTN: PROPERTY TAX DEPT
C/O WALGREEN CO
PO BOX 1159
DEERFIELD, IL 60015
900 EASTLAND DR

CITY OF JEFFERSON
320 E MCCARTY ST
JEFFERSON CITY, MO 65101
EASTLAND DR

MISSOURI CREDIT UNION
111 E BROADWAY ST
COLUMBIA, MO 65203
910 EASTLAND DR

HEISLEN, GARY D & LISA M
920 EASTLAND DR
JEFFERSON CITY, MO 65101
920 EASTLAND DR

KAMPETER, KEVIN B
KAMPETER, B JACQUELYN
924 EASTLAND DR
JEFFERSON CITY, MO 65101
924 EASTLAND DR

MCENTIRE, HARRY E & LINDA L
2001 FOX TRL
JEFFERSON CITY, MO 65101
2001 FOX TRL

MANKIN, KURT L & LISA M
2120 DEER TRL
JEFFERSON CITY, MO 65101
2000 SCHOTTHILL WOODS DR

HALBROOK, JOEY K & MARY E
2007 FOX TRL
JEFFERSON CITY, MO 65101
2007 FOX TRL

WALGREENS
ATTN: STORE MANAGER
900 EASTLAND DR
JEFFERSON CITY, MO 65101

MISSOURI NATIONAL GUARD CREDIT UNION
2009 SCHOTTHILL WOODS DR
JEFFERSON CITY, MO 65101-5509
2009 SCHOTTHILL WOODS DR

C A C REAL ESTATE L L P
PO BOX 22845
OKLAHOMA CITY, OK 73123-1845
2005 SCHOTTHILL WOODS DR (*Subject Property*)

JEFFERSON BANK OF MISSOURI
700 SOUTHWEST BLVD
JEFFERSON CITY, MO 65109
901 EASTLAND DR

T - MOBILE
C/O DUFF & PHELPS
DBA/VERIZON WIRELESS
PO BOX 260968
PLANO, TX 75026-0968
905 EASTLAND DR REAR

A B C O MANAGEMENT L L C
419 VIRGINIA TRL
JEFFERSON CITY, MO 65109
905 EASTLAND DR

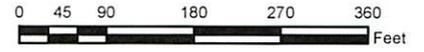
DALESSANDRO, STEPHEN ANDREW
2011 FOX TRL
JEFFERSON CITY, MO 65101
2011 FOX TRL

FLOWERS, JAMES W
2012 FOX TRL
JEFFERSON CITY, MO 65101
2012 FOX TRL

FENNESSEY, THOMAS W & LINDA M
2008 FOX TRL
JEFFERSON CITY, MO 65101
2008 FOX TRL

EIGHMEY, REX RICHARD & CAROL A, TRUSTEES
1003 EASTLAND DR
JEFFERSON CITY, MO 65101
1003 EASTLAND DR

Case No. P16013
2005 Schotthill Woods Drive
Preliminary PUD Plan for
drive through restaurant



185 ft. Notification Buffer

